

Public Document Pack
SOUTHEND-ON-SEA BOROUGH COUNCIL

Development Control Committee

Date: Wednesday, 8th February, 2017

Time: 2.00 pm

Place: Committee Room 1 - Civic Suite

Contact: Tim Row - Principal Committee Officer

Email: committeesection@southend.gov.uk

A G E N D A

1 Apologies for Absence

2 Declarations of Interest

3 Supplementary Report

**** **Introduction**

**** **Reports on Pre-Meeting Site Visits**

4 **16/02207/BC4M - Centurion Close, Shoeburyness (Shoeburyness Ward)**
(Pages 5 - 94)

5 **16/02271/FULH - 31 Lynton Road, Thorpe Bay (Thorpe Ward)** (Pages 95 -
108)

6 **16/02213/FUL - 7-9 Lansdowne Avenue. Leigh-on-Sea (Chalkwell Ward)**
(Pages 109 - 130)

**** **Reports of Main Plans List**

7 **16/02066/FULM - Southend High School For Girls, Southchurch**
Boulevard (Southchurch Ward) (Pages 131 - 158)

8 **16/01497/FUL - 149 Leigh Road, Leigh-on-Sea (Leigh Ward)** (Pages 159 -
174)

9 **16/01901/FUL - 1 Mayfair Place, Southend-on-Sea (Thorpe Ward)** (Pages
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10 **16/02061/FUL - Rear Of 2-10 Camper Road, Southend-on-Sea (Thorpe**
Ward) (Pages 195 - 208)

11 **16/02206/FULH - 3 Parkside, Westcliff-on-Sea (Chalkwell Ward)** (Pages
209 - 222)

12 **16/02252/FULH - 215 Carlingford Drive, Westcliff-on-Sea (Prittlewell**
Ward) (Pages 223 - 236)

****** Enforcement of Planning Control**

**13 16/00044/UNAU_B - 313 Rayleigh Road, Eastwood, Leigh-on-Sea
(Eastwood Park Ward) (Pages 237 - 246)**

TO: The Chairman & Members of the Development Control Committee:

Councillor F Waterworth (Chair)

Councillors D Garston (Vice-Chair), B Arscott, M Assenheim, B Ayling, M Borton,
M Butler, T Callaghan, F Evans, N Folkard, J Garston, R Hadley, A Jones,
C Mulroney, D Norman MBE, P Van Looy and C Walker

PLEASE NOTE: The minibus for the site visits will depart from the bus stop at the front of the Civic Centre at 10.45 a.m.

DEVELOPMENT CONTROL COMMITTEE

INTRODUCTION

- (i) **Recommendations in capitals at the end of each report are those of the Corporate Director of Place, are not the decision of the Committee and are subject to Member consideration.**
- (ii) All plans have been considered in the context of the Borough Council's Environmental Charter. An assessment of the environmental implications of development proposals is inherent in the development control process and implicit in the reports.
- (iii) Reports will not necessarily be dealt with in the order in which they are printed.
- (iv) The following abbreviations are used in the reports:-

BLP	- Borough Local Plan
DAS	- Design & Access Statement
DEFRA	- Department of Environment, Food and Rural Affairs
DPD	- Development Plan Document
EA	- Environmental Agency
EPOA	- Essex Planning Officer's Association
DCLG	- Department of Communities and Local Government
NPPF	- National Planning Policy Framework
NPPG	- National Planning Practice Guidance
SPD	- Supplementary Planning Document
SSSI	- Sites of Special Scientific Interest. A national designation. SSSIs are the country's very best wildlife and geological sites.
SPA	- Special Protection Area. An area designated for special protection under the terms of the European Community Directive on the Conservation of Wild Birds.
Ramsar Site	- Describes sites that meet the criteria for inclusion in the list of Wetlands of International Importance under the Ramsar Convention. (Named after a town in Iran, the Ramsar Convention is concerned with the protection of wetlands, especially those important for migratory birds)

Background Papers

- (i) Planning applications and supporting documents and plans
- (ii) Application worksheets and supporting papers
- (iii) Non-exempt contents of property files
- (iv) Consultation and publicity responses
- (v) NPPF and NPPG
- (vi) Core Strategy
- (vii) Borough Local Plan

NB Other letters and papers not taken into account in preparing this report but received subsequently will be reported to the Committee either orally or in a supplementary report.

DEVELOPMENT CONTROL COMMITTEE

Use Classes

- Class A1 - Shops
- Class A2 - Financial & Professional Services
- Class A3 - Restaurants & Cafes
- Class A4 - Drinking Establishments
- Class A5 - Hot Food Take-away

- Class B1 - Business
- Class B2 - General Industrial
- Class B8 - Storage or Distribution

- Class C1 - Hotels
- Class C2 - Residential Institutions
- Class C3 - Dwellinghouses
- Class C4 - Small House in Multiple Occupation

- Class D1 - Non-Residential Institutions
- Class D2 - Assembly and Leisure
- Sui Generis - A use on its own, for which any change of use will require planning permission

DEVELOPMENT CONTROL COMMITTEE

SITE VISIT PROTOCOL

1. Necessity

A site visit is only likely to be necessary if either:

- (i) The proposed development is difficult to visualise from the plans, photographs and supporting material; or
- (ii) There is good reason why the comments of the applicant and / or objector(s) cannot be expressed adequately in writing; or
- (iii) The proposal is particularly contentious; or
- (iv) A particular Member requests it and the request is agreed by the Chairman of DCC.

2. Selecting Site Visits

- (i) Members can request a site visit by contacting the Head of Planning and Transport or the Group Manager for Planning; providing the reason for the request. The officers will consult with the Chairman.
- (ii) If the agenda has not yet been printed, notification of the site visit will be included on the agenda. If the agenda has already been printed, officers will notify Members separately of the additional site visit.
- (iii) Arrangements for visits will not normally be publicised or made known to applicants or agents unless access is required to be able to go on land.

3. Procedures on Site Visits

- (i) Visits will normally take place during the morning of DCC.
- (ii) A planning officer will always attend and conduct the site visit, and will bring relevant issues to the attention of Members. The officer will keep a record of the attendance, and a brief note of the visit.
- (iii) The site will normally be viewed from a public place, such as a road or footpath.
- (iv) Representations will not be heard, and material will not be accepted. No debate with any party will take place. Where applicant(s) and/or other interested person(s) are present, the Chairman may invite them to point out matters or features which are relevant to the matter being considered having first explained to them that it is not the function of the visit to accept representations or to debate.

Version: April 2016

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Reference:	16/02207/BC4M
Ward:	Shoeburyness
Proposal:	Demolish existing buildings and erect nursery and playground with ancillary community hall use (Class D1), erect nine dwellinghouses, layout parking, install vehicular access on to Centurion Close and associated landscaping
Address:	Car Park, Centurion Close, Shoeburyness, SS3 9UT
Applicant:	Public Sector Partnership (Southend) LLP
Agent:	Bidwells
Consultation Expiry:	9 th January 2017
Expiry Date:	13 th March 2017
Case Officer:	Charlotte Galforg
Plan Nos:	729_P_700; 729_P_702; 729_P_703; 729_P_704; 729_P_705; 734_P_706; 734_P_707; 729_P_708; 729_P_710; 729_P_712; 729_P_713; 729_P_714; 729_P_718; 729_P_720; 729_P_721; 729_P_722; 729_P_723; 729_P_724; 729_P_725; 734_P_730; 734_P_731 ; 734_P_732; 734_P_73 P2; 734_P_734; 734_P_735; 734_P_737; 734_P_740; 734_P_741; 734_P_742; 734_P_743
Recommendation:	GRANT PLANNING PERMISSION

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Background to the Application

- i) The site consists of a former library building and community centre, a vacant former public house building (more recently used as Pupil Referral Unit for troubled school children), together with a car park to serve these uses.
- ii) Friars Library was closed and its services transferred to the new Shoeburyness 'Hub' Library on Delaware Road in 2015. The parts of the old Friars Library building formerly used to host the library service have remained vacant since. The community centre, part of the same building is still in use as Friars Community Centre, and its primary hirers are Friars Centre Playgroup and a local amateur dramatics group with limited further ad hoc hall hires.
- iii) The Pupil Referral Unit (PRU) closed in 2014 and its services have been transferred elsewhere in Southend. The Renown PRU has been disused since. It remains unfit for modern educational use and is surplus to the Council's requirements.
- iv) The existing car park on the site was built to serve Friars Library, Community Centre and the Renown Public House. The car park is owned by SBC but it is not managed as a public car park by the authority.

1 The Proposal

1.1	Site Area	0.42hectares
	Height	2 storey dwellings
	No of Units	9 houses 1 x 2 bed 7 x 3 bed 1 x 4 bed Nursery 205 sqm
	Car Parking	17 (including 1 disability space)

- 1.2 The application proposes demolition of the existing vacant Friars Library buildings and community centre and the redevelopment of the site, including the associated car park, with a new children's nursery and 9 detached market houses.
- 1.3 The new nursery will accommodate the Friars Centre Playgroup, which is currently located within 2 rooms in the former Friars Library building. On the basis of this identified need an expanded 50 place nursery has been proposed, which will offer year round childcare provision for 2, 3 and 4 year olds, 5 days per week. The applicant states that it is anticipated that the hours of use for the nursery will increase to 8am to 6pm, which may include provision of a Breakfast Club and an After School Club for school age children. 5 full time and 3 part time staff are anticipated to be employed.

- 1.4 Ancillary community use of the new nursery building between the hours of 6pm - 10pm is anticipated, including relocation of the existing clubs currently using the former Friars Community Centre. The applicant states that out of hours community use, local clubs/meetings and private hire including use of the kitchen facilities for special occasions at the weekend would also be possible. 8 parking and drop off spaces are proposed to serve the nursery. These would be accessed from Centurion Close. The southern part of Centurion close would be realigned and 9 formal parking bays would be laid out on street along the eastern side of the Close. Cycle and buggy parking is proposed on site.
- 1.5 The proposed nursery has a simple rectilinear form and a “green” mainly flat roof, with a central sloping section which aids ventilation. Timber rainscreen cladding is proposed for the main elevations. A cantilevered canopy signals the entrance. The nursery has been designed in line with the principles of “Secured by Design”. An external play area, with play equipment is proposed to the rear, and a 2m mesh fence will enclose the perimeter, with screen planting set within.
- 1.6 The applicants have stated that The Council has also engaged with the community groups currently using the former Friars Library building and their feedback has informed the final proposal.
- 1.7 The Group Manager Early Years has stated that the Council has been successful in obtaining a capital grant from the DfE for this project on the condition that it is completed by September 2017.
- 1.8 The application also includes proposals for 9, two storey, linked detached 2, 3 and 4 bed houses with associated amenity space and car parking (2 spaces per dwelling). The dwellings are laid out in a mews type arrangement, around a central area of shared space and pedestrian access through the site will be possible. The design of the dwellings is contemporary, roofs being part asymmetrically pitched and part flat. The proposed material palette reflects surrounding development with the use of light coloured brick, powder coated aluminium windows and slate roofs.
- 1.9 It is proposed that the development would be phased, with the Nursery being constructed first.
- 1.10 A Planning Statement, Transport Statement; Travel Plan; Noise Impact Assessment; Daylight / Sunlight Assessment; and Sustainability Appraisal & Energy Statement have been submitted in support of the application.

2 Site and Surroundings

- 2.1 The Site consists of a former library building and community centre; a vacant, former public house building, more recently used as Pupil Referral Unit for troubled school children; together with the associated hard surfaced car park. These buildings were built in the 1970’s. The site also includes part of Centurion Close.

2.2 The site is accessed from Centurion Close at present and lies adjacent to the pedestrianized Renown shopping parade to the west; a residential development of mainly family houses and including sheltered housing, to the north and east; and Friars Primary School and Nursery to the south on the southern side of Constable Way. A bus stop and bus turning area lie immediately to the south of the site. There are a number of mature trees surrounding the site and several immature trees within it. There is unrestricted on street car parking available in Centurion Close.

2.3 The Development Management Document (DPD2) designates the site as part of a wider Secondary Shopping Frontage. This designation covers the whole of the block from Centurion Close on the eastern boundary to the Friars Baptist Church to the west. The western elevation of the former PRU and library buildings are identified as an "Active Commercial Frontage" as are the retail units to the west.

3 Planning Considerations

3.1 The main planning considerations in relation to this application are the principle of redevelopment, including loss of the existing uses and the principle of redevelopment of the site with a nursery/housing, design and impact on the character of the area, traffic and parking, impact on surrounding occupiers, impact on future occupiers, sustainable development and flood risk/SUDs.

4 Appraisal

Principle of development

NPPF, DPD1 (Core Strategy) Policies, KP1; KP2; CP1, CP6, CP8; Development Management DPD Policies DM3, DM7, DM13.

4.1 Policy KP1 requires that appropriate regeneration and growth will be focussed in the particular locations, including Shoeburyness as follows:

"To promote the role of Shoeburyness as a place to live and work, led by the successful redevelopment at Shoebury Garrison, regeneration of local shopping centres and existing industrial estates to secure an additional 1,500 jobs, and providing for 1,400 additional dwellings"

4.2 The development would provide additional jobs and housing in Shoeburyness in accordance with policy KP1.

4.3 Policy KP2 requires that *"all new development, including transport infrastructure, should contribute to economic, social, physical and environmental regeneration in a sustainable way"* and that this must be achieved in ways which inter alia: *"make the best use of previously developed land, ensuring that sites and buildings are put to best use"*

4.4 The site is currently largely vacant, underutilised and detracts from the character and vibrancy of Shoeburyness. It's derelict appearance and lack of activity also harms the commercial prospects of the adjacent shopping parade. It is considered that proposals would make the best use of previously development land in accordance with KP2.

- 4.5 Policy CP6 states that: *“Development proposals must mitigate their impact on community infrastructure by contributing appropriately to services and facilities that would be adversely affected, in accordance with Circular 05/2005, Planning Obligations. New development should demonstrate that it will not jeopardise the Borough’s ability to improve the education attainment, health and wellbeing of local residents and visitors to Southend. This will be achieved by (inter alia):*
- *safeguarding existing and providing for new leisure, cultural, recreation and community facilities*
- 4.6 The application proposes demolition of the existing buildings and associated car park and their redevelopment with housing and a nursery. Friars Library was closed and its services transferred to the new Shoeburyness ‘Hub’ Library on Delaware Road in 2015, which offered longer opening hours and improved facilities.
- 4.7 The community centre, part of the same building, is still in use as Friars Community Centre, the applicant states that its primary hirers are Friars Centre Playgroup and a local amateur dramatics group with limited further ad hoc hall hires. The proposed Development will allow for these uses to continue.
- 4.8 The services previously provided within the Renown Pupil Referral Unit (PRU) have been reprovided at Seabrook College’s North Road and Prittlewell Centres in central Southend. The building is unfit for modern educational use and is surplus to the Council’s requirements.
- 4.9 The development will result in a new nursery to replace the current Friars Pre-School. This high quality development will allow the children to have access to outside play and an opportunity to provide high quality childcare for working parents.
- 4.10 The existing car park on the site was built to serve Friars Library, Community Centre and the PRU. The car park is owned by SBC but it is not managed as a public car park by the authority. It is nevertheless used informally by local residents on an on-going basis. The Transport Statement submitted with the application includes the results of a survey of the car park which indicates that it is used mainly for school drop offs and by people accessing the shopping parade immediately to the west. There is alternative, underutilised car parking to the west of the shopping parade (accessed off Eagle Way) which could be used for these purposes. Thus the development is considered to be in accordance with Policy CP6.
- 4.11 The site is allocated within the Development Management Document (DPD2) as part of a wider Secondary Shopping Frontage. This designation covers the whole of the block from Centurion Close on the eastern boundary to the Friars Baptist Church to the west. The western elevation of the former PRU and library buildings are identified as an “Active Commercial Frontage” as are the retail units to the west.

- 4.12 This designation does not restrict the site to retail or any other particular use. Policy DM13 simply clarifies that that in these areas “development ...must maintain or provide an active frontage with a display function for goods and services rendered and the proposed use will provide a direct service to visiting members of the general public.”
- 4.13 It should be noted that whilst the Renown shopping parade to the west clearly serves this purpose, neither of the existing buildings on the site are in commercial use or provide an active frontage as described by the policy.
- 4.14 It is considered that The application presents an opportunity to bring forward a modern, purpose-built nursery facility for local children and new family housing on an underutilised brownfield site in a central, sustainable location in Shoeburyness and no objection is raised on the basis of the impact on the commercial frontage.

Housing mix

- 4.15 To create balanced and sustainable communities in the long term, it is important that future housing delivery meets the needs of households that demand private market housing and also those who require access to affordable housing. Providing dwellings of different types (including tenure) and sizes will help to promote social inclusion by meeting the needs of people with a variety of different lifestyles and incomes. A range of dwelling types will provide greater choice for people seeking to live and work in Southend and will therefore also support economic growth. The Council therefore seeks to ensure that all residential development provides a dwelling mix that incorporates a range of dwelling types and bedroom sizes, including family housing, to reflect the borough’s housing need and housing demand. Policy DM7 of the DMD requires all residential development to provide a mix of dwelling size and type.
- 4.16 Policy DM7 states:
“The Council will promote the mix of dwellings types and sizes, taking account of those outlined in the SHMA, illustrated in Policy Table 2, in all new major residential development proposals. Where a proposal significantly deviates from this mix the reasons must be justified and demonstrated to the Council.”*

Policy Table 2: Preferred Private Market Dwelling Mix

Dwelling size: No. Bedrooms	1-bed	2-bed	3-bed	4-bed
Proportion of dwellings	9%	22%	49%*	20%**

- 4.17 The application proposes 1 x 2 bed (11%), 7 x 3 bed (78%), and 1 x 4bed (11%) houses. Given that the surrounding area is characterised by housing rather than flats and that there is a high demand for family sized houses within the borough, whilst the development does not meet exactly meet the unit breakdown set out in table 2, the provision of the family houses is welcomed and considered appropriate in this location.
- 4.18 It should be noted that the development does not exceed the threshold for provision of affordable housing.

- 4.19 The provision of nine new family dwellings and a new educational facility for pre-school children on such a centrally located, brownfield site is considered to accord with the Council's strategic goals as set out in Core Strategy policies KP1 and KP2, CP4 and CP8. The Proposed Development makes best use of the site to help to address the need for additional nursery capacity and significant housing growth in Southend.

Design and Impact on the Character of the Area

Planning Policies: NPPF, DPD1 (Core Strategy) policies KP2, CP4, Development Management DPD Policy DM1, DM3; SPD1 Design and Townscape Guide.

- 4.20 A core planning principle set out in Paragraph 17 of the NPPF is to seek to secure high quality design and good standards of amenity for existing and future occupants.
- 4.21 The NPPF also states at paragraph 56:
"The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people."
- 4.22 Policy CP4 of the Core Strategy states "Development proposals will be expected to contribute to the creation of a high quality, sustainable urban environment which enhances and complements the natural and built assets of Southend" and "promoting sustainable development of the highest quality and encouraging innovation and excellence in design to create places of distinction and a sense of place".
- 4.23 The need for good design is reiterated in policies KP2 and CP4 of the Core Strategy DM1 and DM3 of the DM DPD 2 and Policies and the Design and Townscape Guide
- 4.24 The existing buildings on site, although of a distinctive design, are not particularly high quality or seen as positive contributors to the local townscape so there is no objection to their loss in visual terms. In principle, a new high quality development should help to enliven and regenerate the area and would be welcomed.
- 4.25 The proposal has two elements. To the north it is proposed to build a new nursery to replace the existing facility. To the south it is proposal to build a group of 9 houses including an enhanced pedestrian link to the shopping area. These uses are compatible with the character of the wider area and should integrate well into the surrounding townscape.

Nursery

- 4.26 The nursery building has a simple rectangular footprint which has been aligned with the existing housing to the north. It has a spacious forecourt to the front and enclosed garden to the rear which backs on to the pedestrian area adjacent to the shopping parade. The building is single storey with a mono-pitched section on the roof incorporating clearstory windows. It is proposed to be timber clad and has a feature canopy to the front. The main entrance is located to the side behind a secure gate.
- 4.27 The building is well scaled and well positioned on the site and should sit comfortably in the streetscene. The main activity is concentrated to the rear of the building. However the main front elevation has been enhanced with the addition of feature materials, an interesting arrangement of fenestration including a corner window, feature signage highlighting the entrance and by the deep overhang to the canopy and this has resulted in a well-proportioned and interesting building. The north elevation to the footpath includes some glazing and this should help to make it feel overlooked and pedestrian friendly. It will be important to ensure that the main frontage of the building is well landscaped so that the proposal makes a positive contribution to the streetscene. Landscaping detail will be finalised by condition.
- 4.28 The location of the entrance to the side and its lack of impact were raised during pre - application discussions. Its location has now been highlighted through the introduction of a large corner window and feature signage which should help to make the building legible and provide an alternative focal point for the frontage and this is now considered to be acceptable.
- 4.29 The roof which includes an elevated middle section and is topped with a green roof and the extended canopy, this transforms the design from a basic box to a bespoke design and will add interest to the streetscene. The elevation will enable the green roof here to be seen from the pedestrian area to the west and will be a key feature of the overall design. The tapering canopy and the accents of colour to the supports, doors and cladding all help to enliven the design and are welcomed.
- 4.30 To the rear the large garden is enclosed with what appears to be a mesh fence. There is a screen planting to the pedestrian area to the west. The landscaping proposals for the associated amenity area seems to be well considered and trees are included here which will add to the surrounding streetscene. The need for a secure boundary for this type of use is noted and the proposal for this to be a bright colour would fit with the use and is supported in this instance. The proposed landscaping strip to the public area on the western side of this boundary will help to soften the fence visually and provide some screening for the nursery and this should present an attractive frontage to the pedestrian area. The landscaping strip continues south along the boundary walls of the new adjacent housing and this should help to ensure a cohesive landscaping strategy for the whole development.

4.31 The design of the Nursery development is therefore considered acceptable.

Houses

4.32 The proposed houses compatible with the surrounding land uses so will not appear out of character in this location.

4.33 The houses are laid out in two rows forming an internal street/mews. This will present an inactive boundary to the main road to the south but the layout and its detailing of this part of the development as a homezone will provide a new and enhanced pedestrian connection to the local shopping centre and this works well as a transition between the pedestrianised area and the wider street network and overall this is considered to be an acceptable layout for the site. The boundary to Constable Way will need to be well detailed and landscaped so that it presents an attractive boundary to the street and that the homezone has high quality surface materials and landscaping, details of these elements will be controlled by condition.

4.34 The plans show a continuous landscaping buffer around the perimeter to Constable Way and substantial tree planting in the rear gardens which is welcomed. It is also noted that there are significant areas of landscaping to the mews court including trees, planted, communal frontages and small front gardens and these and this will all contribute to enhancing this setting and prevent unauthorised parking.

4.35 The houses themselves are simple in their form having a main asymmetrical gabled frontage and recessed side projection over the parking spaces and this is an efficient use of the site and provides a good rhythm to the street. The simple forms are enhanced with the careful placement of fenestration and feature materials and details and this should enliven the frontages and create a distinctive development. Additional fenestration and detail has been added to the flank elevations facing the pedestrian area and the street as this will help to break up the mass of brick work and provide some active frontage to these sides which face onto the public realm.

4.36 *Trees*

It is noted that 1 small Maple tree is to be removed from the existing pedestrian precinct and several very small immature trees will be lost from the existing car park area. It is considered that the scheme will compensate for this by the proposed parking and creation of the shared space access through to the Renown, and generally enhancing the area. The applicant has confirmed that the landscaping scheme will include a semi mature Maple tree to replace that which will be removed, as well as silver birch trees and apple, pear and plum trees.

- 4.37 To conclude, the site is brownfield, but currently underused and does not benefit the area. It is considered that the development represents an exciting opportunity to regenerate this brownfield site, which would uplift the neighbourhood and provide much needed new housing and nursery school accommodation within the borough. Overall the proposed nursery and the houses are considered to be a well-designed and detailed development which will enhance the local area and contribute to its wider regeneration.

Traffic and Transport

NPPF; DPD1 (Core Strategy) policies: KP1, KP2, KP3, CP3; Development Management DPD Policies DM15.

- 4.38 The existing use of the site is as a Library, Community Centre and Pupil Referral unit which utilised the existing 51 car parking spaces. The car park was constructed to serve the above uses. The site is within walking distance of local amenities including schools, post office and healthcare facilities and shops and is adjacent to bus stops and several bus routes connecting it with the town centre and local station. It is considered to be a sustainable location.
- 4.39 The application is accompanied by a Traffic Statement. The traffic impact of the proposals has been considered in the context of the existing and proposed uses on the site. The TRICS database has been used to inform this assessment. The statement also considers the parking requirements for the proposal and the implication of the loss of the existing car parking spaces and any required improvements to accommodate development on the site.

Traffic Generation

- 4.40 The submitted Traffic Statement and TRICS data estimates that across the two daily peak hours 08.00-9.00am and 17.00-18.00pm the existing uses generate 67 vehicle trips and that the proposed Nursery and housing use would generate 61 vehicle trips. It demonstrates that the proposed use is expected to generate a similar traffic impact during the AM peak (2 additional trips expected) but significantly fewer trips (8) are anticipated in the PM peak. The vehicle trips generated by the proposal would not therefore have a material impact on the operation of the local road network for the purposes of either highway safety or capacity, when offset against the former uses.

Car Parking

- 4.41 The application includes provision for 2 spaces to serve each dwelling in accordance with Policy DM15.
- 4.42 8 car parking spaces (including one disabled space) are proposed to serve the Nursery, these would serve staff and provide drop off space for parents. The amount of spaces proposed is in accordance with Policy DM15. In addition it is intended to formally mark out a further 9 on street car parking spaces and widen the carriageway within Centurion Close, adding to the availability of parking to serve the development.

- 4.43 Furthermore a travel plan for the Nursery is proposed to encourage staff and parents to use sustainable forms of transport. Cycle parking is proposed to serve the Nursery development.
- 4.44 Thus it is considered that the number of car parking spaces that are proposed to serve the development are adequate to meet its needs and no objections are raised on parking grounds.
- 4.45 On site cycle parking is provided by stands to the front of the Nursery building under the proposed canopy. Whilst the stands would be able to be surveyed from within the Nursery building it is considered that additional secured cycle parking should be made available to staff within the site. This will be secured by condition.
- 4.46 Cycle storage can be accommodated within the rear gardens of the dwellings and the majority will have specific cycle storage sheds.

Loss of existing on site car park spaces

- 4.47 It is noted that concern has been raised by objectors that development of the existing car parking spaces would displace traffic, but it is important to note that the car park that exists, exists to serve the existing buildings/uses on site and is not a formal public car park. It could be closed for public access at any time.
- 4.48 The applicant has carried out a capacity survey which demonstrates that outside of pick up and drop off times linked with Friars school the car park is generally a third full. These 20 occupied spaces are considered to be associated with the on-going site usage and shopping parade. The site visits that have been undertaken by officers on a number of occasions confirm that the car park is underutilised outside school pick up and drop off times.
- 4.49 Whilst officers agree that the car park is conveniently located to serve those using it for drop off to the primary school opposite and visitors to nearby residences, it is noted that there are a number of other car parks in the vicinity of the site, principally on the western side of the Renown. These car parks had ample capacity at the time of the officer's site visits. Furthermore it was observed that there is much capacity to park on street in both Constable Way and nearby residential side roads. Thus the loss of the existing informal car park, which could be closed to the public at any time and was originally provided to serve the former uses on site, is not considered to be a reason to refuse a development that is otherwise acceptable and would provide both a much needed nursery and family housing.
- 4.50 An objector has raised concerns regarding the possibility of cars parking in the parking spaces proposed to be marked out in Centurion close and making access to a gate within their rear garden fence difficult; however it should be noted that this relationship already exists when cars park on street within Centurion close where there is currently unrestricted on street car parking and indeed this situation was observed at the time of the officers site visit. Thus the proposed development would not have a material impact in this respect.

Access and servicing

Nursery

- 4.51 There is no vehicular access into the Nursery site (parking is provided in parking bays to the front). Pedestrian access is provided through a controlled access gate to the side. Refuse storage is provided to the front of the building, set within a new, enclosed landscaped area. This will be readily accessible for collection.

Housing

- 4.52 The housing is accessed from Centurion Close and will be set around a shared space, creating a mews like development. Pedestrian access will be created through the site, linking it to the Renown. Refuse storage for each of the dwelling will be available on site, in refuse stores. The scheme is laid out so that a refuse freighter can access the site effectively.

Highways works

- 4.53 The application includes a number of highways works including widening the carriageway and laying out on street car parking bays. These works will be undertaken at the applicant's expense and required by virtue of a Grampian condition.
- 4.54 To conclude, taking all these factors into account proposed development is considered to be in accordance with policies CP3 of the Core Strategy and Policy DM15 of the Development Management DPD with regard to traffic generation, parking, access and servicing.

Impact on amenity of adjacent occupiers and future occupiers of the development.

Planning Policies: NPPF, Core Strategy policy CP4, Development Management DPD DM1, DM3, DM8; Design and Townscape Guide SPD1

- 4.55 Policies DM1 and DM3 of the Development Management DPD and CP4 of the Core Strategy refer to the impact of development on surrounding occupiers. High quality development, by definition, should provide a positive living environment for its occupiers whilst not having an adverse impact on the amenity of neighbours. Protection and enhancement of amenity is essential to maintaining people's quality of life and ensuring the successful integration of proposed development into existing neighbourhoods. Amenity refers to well-being and takes account of factors such as privacy, overlooking, outlook, noise and disturbance, the sense of overbearing, pollution and daylight and sunlight. A proposed development will need to consider its potential impact upon neighbouring properties and the surrounding area. DM DPD1, policy DM1 requires that all development should (inter alia):

“Protect the amenity of the site, immediate neighbours, and surrounding area, having regard to privacy, overlooking, outlook, noise and disturbance, visual enclosure, pollution, and daylight and sunlight;”

- 4.56 Generally the development is located some distance from the surrounding residential development. The rear of the closest property within Raphael Drive is some 14.8 from the side wall of the nearest proposed dwelling and is separated by the carriageway of Centurion Close. The new dwellings are sited to the west of Raphael Drive. This relationship means that the new dwellings will not appear overbearing or result in a loss of light to the existing dwellings in Raphael Drive.
- 4.57 The closest residential property to the application site is 10 Centurion Close, to the north. This dwelling is separated from the site by a pedestrian footpath and the main dwelling is set a further 2.67m from its boundary. The main entrance to the property is set in the south elevation and there is a clear glazed bedroom window to the side at first floor and a secondary obscured window to the side at ground floor. There are windows to the east and west elevations of the ground floor side extension. The main Nursery building will project in line with the front 10 Centurion Close and will project some 5.5m beyond the rear elevation. Given the separation distances between the properties, the location and type of fenestration and the orientation of the development, it is not considered that the Nursery building will result in a material loss of light to the property to the north, nor will it adversely affect outlook or appear overbearing. It should also be noted that the existing building to the rear in the west of the application site is to be removed, and this will have a positive impact on outlook from the rear of No 10 Centurion Close.
- 4.58 There are flats above the shops within the Renown, but these are set 11m away from the side of the proposed dwellings at the nearest point and will not be materially affected.
- 4.59 None of the new dwellings have windows which would overlook the adjacent existing dwellings. Therefore the development will not result in undue overlooking, loss of light or appear overbearing to these neighbouring properties.

Noise and disturbance

- 4.60 The applicant has submitted a noise impact assessment with the application, which examines not only the impact on surrounding development but also future occupiers of the development and considered what mitigation measures are required if any.

Nursery School

- 4.61 No items which would generate significant noise are proposed as part of this application in terms of mechanical plant etc and any future provision can be controlled by suitable conditions. Noise generated internally will be controlled by the fabric of the building.
- 4.62 The impact from the outside play area has been assessed at the nearest noise sensitive premises (10 Centurion Close). Given the predicted use of the external play area, the assessment concludes that there will be a slight increase in overall noise levels. The impact will occur in the time that the playground is in use and may have some impact on the adjacent dwelling, however, given that the playground is only proposed to be used for a relatively short time each day (1.5 hours) this increase should be balanced against the provision of the Nursery facility and on balance no objection is raised on this basis.

4.63 Noise from the proposed nursery drop off should be less than that generated by the current use of the site when parents use it from drop off/collection for Friars Primary School.

4.64 It is noted that the building is intended to be used for community purposes outside Nursery hours and conditions are recommended to control this use (hours/noise generation).

Lighting

4.65 Any externally lighting can be controlled by the use of suitable conditions to ensure that the light source is directed away from surrounding residential occupiers and is not excessively bright and will not therefore cause detrimental intrusion of light.

4.66 Thus it is not considered that the development will result in undue noise or disturbance to surrounding occupiers.

Impact on future residential occupiers.

4.67 It is also necessary to consider whether the development will result in an acceptable environment for future occupiers of the new dwellings.

Noise and Disturbance

4.68 The main existing noise sources are the roads adjoining the site, including the adjacent bus turning area. The noise assessment also considers the impact of the proposed nursery and drop off bays on the adjacent residential users. The noise assessment has examined the impact from these sources, including that of buses idling at the adjacent stop. It concludes that no specific acoustic mitigation is necessary and that subject to the use of double glazing, suitable building construction and the erection of the proposed boundary walls, the occupiers of the new dwellings will not experience undue disturbance.

Size and layout of units

4.69 It is the Council's aim to deliver good quality housing, ensuring that new developments contribute to a suitable and sustainable living environment now and for future generations. To achieve this, it is necessary to ensure that new housing developments provide the highest quality internal environment that will contribute to a good quality of life and meet the requirements of all the Borough's residents. Minimum space standards are intended to encourage provision of enough space in dwellings to ensure that they can be used flexibly by residents, according to their needs, and that sufficient storage can be integrated.

4.70 The National Technical Standards (NTS) include Housing size standards. The proposed dwellings are between 85 sqm and 124 sqm in size and the development meets the NTS unit and bedroom size standards and provides sufficient storage to meet the needs of occupiers.

Accessibility

- 4.71 The proposed development will include one 2 bed unit which has been designed to be suitable for use as a wheelchair user dwelling. Furthermore all units meet the requirements of building regulation M4(2) “accessible and adaptable dwellings” in accordance with Policy DM8.

Amenity Space.

- 4.72 There are no specific garden size standards contained within the DM DPD2. However policy DM8 recognises that:

“Private outdoor space is an important amenity asset and provides adults and children with external, secure recreational areas. It is considered that this space must be useable and functional to cater for the needs of the intended occupants. All new residential units will be expected to have direct access to an area of private amenity space. The type of amenity space will be dependent on the form of housing. In the case of non-flatted developments, generally this can most easily be provided in the form of a private enclosed garden.

- 4.73 Each of the dwellings has access to a private, rear amenity space of between 60 and 134 sqm, with the exception of the 2 bed house which has 32 sqm of private rear amenity space. It should be noted that the development will also include an area of shared surface space to the front, which will complement and enhance the rear amenity space provision. The amenity space provision is therefore considered to be adequate and acceptable.
- 4.74 Therefore the standard of accommodation for future occupiers is considered acceptable and is in accordance with Policy DM8.

Sustainable Construction

Planning Policies: NPPF; DPD1 (Core Strategy) policies: Key Policies: KP2, CP4; Development Management DPD Policy DM2; SPD 1 Design and Townscape Guide

- 4.75 Policy KP2 sets out development principles for the Borough and refers specifically to the need to:

“include appropriate measures in design, layout, operation and materials to achieve:

a reduction in the use of resources, including the use of renewable and recycled resources.

All development proposals should demonstrate how they will maximise the use of renewable and recycled energy, water and other resources. This applies during both construction and the subsequent operation of the development. At least 10% of the energy needs of new development should come from on-site renewable options (and/or decentralised renewable or low carbon energy sources), such as those set out in SPD 1 Design and Townscape Guide, wherever feasible.

*How the development will provide for the collection of re-usable and recyclable waste will also be a consideration.....
.....development proposals should demonstrate how they incorporate 'sustainable urban drainage systems' (SUDS) to mitigate the increase in surface water run-off..."*

- 4.76 Policy DM2 restates the need for *"all development proposals [to] contribute to minimising energy demand and carbon dioxide emissions in accordance with the energy hierarchy*
- 4.77 The proposed development would include measures to reduce energy demand, including improved building fabric, low energy lighting, high efficiency pumps and intelligent building controls. A green roof is proposed for the Nursery building. Photovoltaic Cells are proposed the both the Nursery and houses to produce renewable energy. The submitted statement confirms that the proposed photovoltaic cells will supply 10% of the on – site energy usage from renewable sources.
- 4.78 Water efficient design measures can be required to be put in place by a suitable condition.
- 4.79 Subject to appropriate conditions, the development is considered to be in accordance with Policies KP2 and DM2.

Flood risk and drainage

Planning Policy: NPPF Section 10, DPD1 (Core Strategy) policies: KP1, KP2, KP3, CP4; Development Management DPD Policy: DM2.

- 4.80 The site does not lie within Flood Zones 2 or 3. The site is currently hardsurfaced or covered by buildings. The development will result in fewer areas of hardsurface and more landscaping, thus reducing improving surface water run-off and improving drainage generally. The applicants have also stated that the surface water strategy for the site will be designed as a Sustainable urban Drainage System in order to minimise the run-off into the existing surface water sewer. This will include features such as planting areas, living roofs (green), porous paving etc. the development is therefore considered to be acceptable in relation to flood risk and drainage.

Community Infrastructure Levy Regulations

- 4.81 The Community Infrastructure Levy Regulations 2010 came into force on 6 April 2010.
- 4.82 This application is CIL liable and there will be a CIL charge payable. Section 143 of the Localism Act 2011 states that any financial sum that an authority has received, will, or could receive, in payment of CIL is a material 'local finance consideration' in planning decisions. The proposed development will result in a gross internal area of approximately 1101sqm. The resulting total CIL contribution for this site is approximately £15,415, however this is subject to confirmation.

5.0 Conclusion

This development represents an opportunity to redevelop and regenerate a brownfield site in accordance with Core Strategy and DM policy and to provide a development of 9 family houses and a 50 place nursery. The contemporary design is also considered to be appropriate for the area. The proposed alterations to the highway and public realm will also enhance and help uplift this area. Parking is provided to meet the needs of the occupiers and the traffic generation associated with the development will not have a material impact on surrounding traffic flow. The development is sited sufficiently distant from residential properties to avoid overlooking and loss of light or otherwise impact upon amenity. The development is therefore considered to be in accordance with National and Local Planning Policies and is considered to be acceptable.

6.0 Planning Policy Summary

- 6.1 NPPF - National Planning Policy Framework: Achieving sustainable development, Core Planning Principles, Policies: 1. Building a strong, competitive economy; 4. Promoting sustainable transport, 6. Delivering a wide choice of high quality homes; 7. Requiring good design; 8. Promoting healthy communities; 10. Meeting the challenge of climate change, flooding and coastal change.
- 6.2 DPD1 (Core Strategy) Policies- Key Policies, KP1 (Spatial Strategy); KP2 (Development Principles); KP3 (Implementation and Resources); CP1 (Employment Generating Development); CP3 (Transport and Accessibility); CP4 (The Environment and Urban Renaissance); CP6 (Community Infrastructure); CP8 (Dwelling Provision).
- 6.3 Development Management DPD(DM) 2015 Policies: Policy DM1 – Design Quality; Policy DM2 – Low Carbon Development and Efficient Use of Resources; Policy DM7 – Dwelling Mix, Size and Type; Policy DM8 – Residential Standards; Policy DM13 – Shopping Frontage Management outside the Town Centre; Policy DM15 – Sustainable Transport Management.
- 6.4 Supplementary Planning Document 1: Design & Townscape Guide (2009).
- 6.5 Supplementary Planning Document 2: Planning Obligations (2010)
- 6.6 CIL Charging Schedule 2015, Regulation 123 List

7.0 Representation Summary

7.1 Design

The proposal has 2 elements. To the north it is proposed to build a new nursery to replace the existing facility. To the south it is proposal to build a group of 9 houses including an enhanced pedestrian link to the shopping area. These uses are compatible with the character of the wider area and should integrate well into the surrounding townscape.

Nursery

The nursery building has a simple rectangular footprint which has been aligned with the existing housing to the north. It has a spacious forecourt to the front and enclosed garden to the rear which backs on to the pedestrian area adjacent to the shopping parade. To the north there is a footpath linking the shops to the wider residential areas to the north and east. The building is single storey with a mono-pitched section on the roof incorporating clearstory windows. It is proposed to be timber clad and has a feature canopy to the front. The main entrance is located to the side behind a secure gate.

The building is well scaled and well positioned on the site and should sit comfortably in the streetscene. The main activity is concentrated to the rear of the building and during pre app there was a concern that the main front elevation lacked impact but this has been enhanced with the additional of feature materials, a more interesting arrangement of fenestration including a corner windows, feature signage highlighting the entrance and by the deep overhang to the canopy and this has resulted in a well-proportioned and interesting building. It is pleasing to see that the north elevation to the footpath including some glazing and this should help to make it feel overlooked and pedestrian friendly. It will be important to ensure that the main frontage of the building is well landscaped so that the proposal makes a positive contribution to the streetscene. At present the intentions for this area are rather vague – there is a dedicated drop off adjacent to the south so there is a real opportunity for the area in front of the building to include significant landscaping to soften and enhance the building. This should be clarified or conditioned. An open forecourt with no planting would be detrimental to the proposal. It is also suggested that the planting be extended to the drop off area such as planting some trees behind the spaces.

The location of the entrance to the side and its lack of impact was also raised at pre app. This location remains unchanged but its location has been highlighted through the introduction of a large corner window and feature signage which should help to make the building legible and provide an alternative focal point for the frontage and this is now considered to be acceptable. It seems that the security fencing extends to roof level on this side- this seems rather extreme and unnecessary and would be better omitted.

The roof which includes an elevated middle section and is topped with a green roof and the extended canopy transforms the design from a basic box like for to a bespoke design and will add interest to the streetscene. The elevation will enable the green roof here to be seen from the pedestrian area to the west and will be a key feature of the overall design.

The tapering canopy and the accents of colour to the supports, doors and cladding all help to enliven the design and are welcomed.

To the rear the large garden is enclosed with what appears to be an orange mesh fence. There is a screen planting to the pedestrian area to the west. The landscaping proposals for the associated amenity area seems to be well considered and it is pleasing to see trees included here which will add to the surrounding streetscene. The need for a secure boundary for this type of use is noted and the proposal for this to be a bright colour would seem to fit with the use and is preferred to the usual black in this instance. The proposed landscaping strip to the public area on the western side of this boundary should help to soften the fence visually and provide some screening for the nursery and this should present an attractive frontage to the pedestrian area. It is pleasing to see that the landscaping strip continues south along the boundary walls of the new adjacent housing and this should help to ensure a cohesive landscaping strategy for the whole development.

Houses

The proposed houses are a new use on site but this is compatible with the surrounding land uses so will not appear out of character in this location. The houses are laid out in two rows forming an internal street/mews . This will present an inactive boundary to the main road to the south but the layout and its detailing of this part of the development as a homezone will provide a new and enhanced pedestrian connection to the local shopping centre and this seems to work well as a transition between the pedestrianised area and the wider street network and overall this is considered to be an acceptable layout for the site, provided that the boundary to Constable Way is well detailed and landscaped so that it presents an attractive boundary to the street and that the homezone has high quality surface materials and landscaping. The plans show a continuous landscaping buffer around the perimeter to Constable Way and substantial tree planting in the rear gardens which is welcomed. It is also noted that there are significant areas of landscaping to the mews court including trees, planted communal frontages and small front gardens and these and this will all contribute to enhancing this setting and prevent unauthorised parking and is welcomed - details should be conditioned.

The houses themselves are simple in their form having a main asymmetrical gabled frontage and recessed side projection over the parking spaces and this seems to be an efficient use of the site and provides a good rhythm to the street. The simple forms are enhanced with the careful placement of fenestration and feature materials and details and this should enliven the frontages and create a distinctive development. It is pleasing to see that additional fenestration and detail has been added to the flank elevations facing the pedestrian area and the street as this should help to break up the mass of brick work and provide some active frontage to these sides which face onto the public realm. The ultimate success of this element of the proposal will be in its landscaping and materials/detailing and these elements should be conditioned.

It is noted that there is a variation of amenity provision for the houses including 1 very small garden in the south east corner of the site but the scale of the dwelling in this location has been reduced to a 2 bed property to compensate for the reduced garden area and this seems to be a reasonable compromise.

Generally the internal layout and amenity provision for the site seems reasonable for this context.

It is noted that 1 tree is to be removed from the existing pedestrian precinct. The scheme should compensate for this by planting a replacement of a significant size or by making other contributions to the enhancement of the existing pedestrian area.

Overall the proposed nursery and the houses are considered to be a well-designed and detailed which should enhance the local area and contribute to its wider regeneration.

7.2 Traffic and Highways

Existing Use - The existing use of the site has a Library, Community Centre and Pupil Referral unit which utilise the existing 51 car parking spaces. When liaising with our property team the car park was constructed to serve the above uses.

The applicant has carried out a capacity survey which demonstrates that outside of pick up and drop off times linked with Friars school the car park is generally a third full. These 20 occupied spaces are considered to be associated with the on-going site usage and shopping parade. On a number of site visits that have been undertaken by officers photographs taken at the time confirm that the car park outside school pick up and drop off times is underutilised. Consideration has also be given to the car parking available to the west behind the shopping parade which has the capacity for at least 25-30 spaces in addition to the unrestricted parking with the exception of junction protection available in Constable Way and Eagle Way which can accommodate a far greater number of vehicles than the existing car park.

Proposed Use - The proposed scheme provides 9 residential dwellings with associated car parking and a children's nursery with 8 parking including a disabled space. Both aspects of the proposal meeting current parking policy as set out in Policy DM15 of the Development Management Policies DPD. In addition 9 on street parking spaces will be provided for members of the public to use.

Traffic generation has been considered in context of the existing and proposed uses using the TRICS database. The TRICS data indicates that across the two daily peak hours 08.00-9.00am and 17.00-18.00pm estimates that the existing use generates 67 vehicle trips and the proposed use generates 61 vehicle trips. This demonstrates that the proposed use is expected to generate a similar traffic impact during the AM peak (2 additional trips expected) but significantly less trips (8) are anticipated in the PM peak. The vehicle trips generated by the proposal would not have a significant impact on the operation of the local road network for the purposes of either highway safety or capacity when offset against the former uses.

Refuse Storage and Collection - The residential scheme ensures that a refuse freighter can access the site effectively. The nursery will arrange for a commercial collection this can be accommodated with Centurion Close.

Sustainable Access - The site has good public transport links in close proximity bus, rail services and cycle links are readily available.

Conclusion

The applicant has provided robust information using industry standard transport software to demonstrate that the proposal will not have significant impact on the public highway. Given the information above and that contained within the transport statement it is not considered that the proposal will not have a detrimental impact upon the public highway or surrounding areas. Therefore no highway objections are raised.

The applicant will be required to provide a travel plan which shall include annual monitoring.

The applicant will be required to enter into the appropriate legal agreements to carry out any work on public highway.

The applicant will provide the necessary changes to any Traffic Regulation Orders to facilitate the development.

7.3 Parks

No comments received

7.4 Environmental Health

No comments received

7.5 Education (Early Years)

This development will allow the children to have access to outside play and a great opportunity to provide high quality childcare for working parents.

This is an extremely important development for Early Years we have a statutory duty to ensure that there is sufficient high quality places available for working parents. In September 2017 working parents will be entitled to 30 hours free childcare so we will be under real pressure to have sufficient number of places.

In September we are expecting a high surge in take up of places as the new entitlement kicks in so sustainability [of Friars Primary School Nursery] should not be an issue but the school nursery does not offer a flexible service for parents as will the potential new nursery. The LAs that have been piloting the new entitlement for working parents have seen an 85% take up which is extremely high for any new initiative.

As with all childcare providers we encourage partnership working between them to give parents the maximum choice on offer.

We have also been successful in having a capital grant approved in principal from the DfE for this project on the condition that we can get it approved and completed by September 2017 so we are really up against a tight timeline.

7.6 Housing Strategy

No comments received

7.7 Property

Support the application.

7.8 Waste Management

No comments received

8.0 Public Consultation

8.1 59 Neighbours were notified, site notices displayed and a notice published in the press. 7 letters of objection have been received (2 from the same address), including from Friars Baptist Church and Friars Primary School, and a proforma letter from 32 addresses, raising the following issues:

- Loss of the existing car park and resulting highway safety issues from cars parking on street.
- Increased on street car parking.
- Development will aggravate parking problems for carers and visitors to Crouchmans and Centurion Close sheltered Housing complex.
- The road in Centurion Close is not wide enough to accommodate bays, it will be hazardous. The pavement area is narrow [**Officer Comment: Highways Officers have not raised an objection**].
- Inadequate parking to serve the development.
- Difficulty in reversing out from houses
- Parking surveys flawed.
- Double yellow lines should be put in place for the whole of Centurion Close.
- Too much development crammed onto a very small site.
- Small gardens size
- No of dwellings should be reduced.
- Back gate opens onto the proposed parking bays making it difficult to get out of the gate with a pushchair/bike etc. Pavement would become a congested hazard. Neither safe or acceptable.
- Timing of neighbour consultation
- Existence of car park is a useful recruitment tool for the school
- Concern that the new nursery will encourage parents not to use the existing Friars primary school nursery and may impact on funding if numbers drop.
- Should consider redevelopment of the existing parade of shops.

Shoebury Residents Association –

- Object to permanent removal of community buildings in what is understood to be a deprived area.
- Proposals do not represent a long term solution to the areas problems and will inhibit future attempts to resolve them.
- Recent loss of the library was a community “nail in the coffin” for this area.
- A full time community building is important

- Rather than a piecemeal solution the council should consider an all embracing solution developed gradually so the Friars area becomes a beacon for sensitive community development.

8.2 One letter of support has been received from the existing Friars Nursery summarised as follows:

- The new proposal is absolutely the best way forward to not just secure, but to expand the invaluable childcare that Friars Centre Playgroup provides for the parents of North Shoebury. It is important to stress that the Playgroup plays an important part in providing affordable childcare to a generally low-income area of Shoebury.
- By giving us the opportunity to expand we will therefore be able to accommodate for the 30 hours funding which starts as of September, therefore supporting working parents and those parents looking to return to work throughout the year and not just within term time catering for the demand of the local community supporting parents who work as in Shoebury as many feel there is a lack of childminders to cater for this need.
- We are aware of some concerns of the neighbouring houses due to removing the well-used carpark and concerns over where these cars will then park during the busiest times of the school day. However, after completing our travel plan survey it was evident that many of our parents are within walking distance yet still drive. I would therefore propose to work with Friars school to try to reduce the number of parents who drive their children to school by giving them incentives to walk and in hand reduce obesity levels and promote healthy living and well-being by changing habits.
- By building a new premise for our children and children in the future it will also cater for the demands of the local community for groups such as Slimming World, the local Drama group and hire for parties to which we have many enquires yet the hall is not used for such events. It may also create opportunities for new groups to come together with the use of such a wonderful facility and strengthen the community networks. This in turn will bring a sense of community back to an area of need.

9.0 Relevant Planning History

9.1 None relevant to this application

10.0 Recommendation

Members are recommended to:

GRANT PLANNING PERMISSION subject to the conditions listed below:

01 The development hereby permitted shall be begun not later than 3 years beginning with the date of this permission.

Reason: Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990

- 02** The development shall be carried out in accordance with the approved plans:
729_P_700; 729_P_702; 729_P_703; 729_P_704; 729_P_705; 734_P_706;
734_P_707; 729_P_708; 729_P_710; 729_P_712; 729_P_713; 729_P_714;
729_P_718; 729_P_720; 729_P_721; 729_P_722; 729_P_723; 729_P_724;
729_P_725; 734_P_730; 734_P_731 ; 734_P_732; 734_P_73 P2; 734_P_734;
734_P_735; 734_P_737; 734_P_740; 734_P_741; 734_P_742; 734_P_743

Reason: To ensure the development is carried out in accordance with the development plan.

- 03** No construction works for the nursery building above the floor slab level shall take place until samples and product details of the materials to be used in the construction of the external elevations of the nursery building hereby permitted, including cladding, fenestration, canopy and screening have been submitted to and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details.

Reason: To safeguard character and appearance of surrounding area in accordance with Policies KP2 and CP4 of the Core Strategy and Policy DM1 of the Development Management DPD 2015 and the Design and Townscape Guide 2009

- 04** No construction works for the dwellings shall take place until samples and product details of the materials to be used in the construction of the external elevations of the buildings hereby permitted, including cladding, screening, balustrades, glazed brickwork and fenestration have been submitted to and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details.

Reason: To safeguard character and appearance of surrounding area in accordance with Policies KP2 and CP4 of the Core Strategy and Policy DM1 of the Development Management DPD 2015 and the Design and Townscape Guide 2009

- 05** No construction works for the housing above the floor slab level shall take place until details of fenestration including reveals, brick patterning panels, and glazed brickwork within window frames, at a scale of at least 1:20 have been submitted to and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details.

Reason: To safeguard character and appearance of surrounding area in accordance with Policies KP2 and CP4 of the Core Strategy and Policy DM1 of the Development Management DPD 2015 and the Design and Townscape Guide 2009

- 06** Prior to the display of any signage relating to the Nursery details shall be submitted to an approved by the Local Planning Authority and the signage shall be displayed only in accordance with the approved details.

Reason: To safeguard character and appearance of surrounding area in accordance with Policies KP2 and CP4 of the Core Strategy and Policy DM1 of the Development Management DPD 2015 and the Design and Townscape Guide 2009

- 07 No construction works for the nursery building above the floor slab level shall take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved. These details shall include: proposed finished levels or contours; means of enclosure, boundary treatment, forecourt, pedestrian access and circulation areas; hard surfacing materials; minor artefacts and structures (eg. furniture, benches, bollards, refuse or other storage units, lighting etc.)**

Details for the soft landscape works shall include the number, size and location of the trees, shrubs and plants to be planted together with a planting specification, and landscape management plan, site preparation and planting details, long term design objectives, management responsibilities and maintenance schedules for all landscape areas

The hard landscaping shall be installed prior to first occupation of the development and the soft landscaping works shall be implemented prior to the end of the first planting season following first occupation of the development. Management of the landscaping shall be implemented in accordance with the agree management plan.

Reason: In the interests of visual amenity and the amenities of occupiers and to ensure a satisfactory standard of landscaping pursuant to Policy CP4 of the Core Strategy DPD1, Policy DM1 of the Development Management DPD 2015 and the Design and Townscape Guide 2009.

- 08 No construction works for the dwellings shall take place until full details of both hard and soft landscape works have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved. These details shall include: proposed finished levels or contours; means of enclosure, boundary treatment, forecourt, shared space and pedestrian access and circulation areas; details of the method of preventing vehicular access between the site and The Renown; hard surfacing materials; minor artefacts and structures (eg. planters, furniture, benches, bollards, refuse or other storage units, lighting etc.)**

Details for the soft landscape works shall include the number, size and location of the trees, shrubs and plants to be planted together with a planting specification, details for the soft landscape works shall include the number, size and location of the trees, shrubs and plants to be planted together with a planting specification, and landscape management plan, site preparation and planting details, long term design objectives, management responsibilities and maintenance schedules for all landscape areas

The hard landscaping shall be installed prior to first occupation of the development and the soft landscaping works shall be implemented prior to the end of the first planting season following first occupation of the development and planting to all public areas permanently retained thereafter. Management of the landscaping shall be implemented in accordance with the agreed management plan.

Reason: In the interests of visual amenity and the amenities of occupiers and to ensure a satisfactory standard of landscaping pursuant to Policy CP4 of the Core Strategy DPD1, Policy DM1 of the Development Management DPD 2015 and the Design and Townscape Guide.

- 09 The nursery shall not be occupied until 8 car parking spaces have been laid out within the site in accordance with drawing P_702 and shown as Nursery Staff Parking and Parent Drop - off. The parking spaces shall be permanently retained thereafter for the parking of staff and visitors to the development.

Reason: To ensure that adequate car parking is provided and retained to serve the nursery development in accordance with Policies CP3 of the Core Strategy DPD1 and Policy DM15 of the Development Management DPD 2015.

- 10 No dwelling shall be occupied until 2 parking spaces per dwelling and the "New Mews" shared surface has been laid out within the site in accordance with drawing P_702 to serve the dwellings and to allow vehicles to access the site and for vehicles to turn so that they may enter and leave the site in forward gear. The parking spaces/shared space shall be permanently retained thereafter, the parking shall be retained for occupiers and visitors to the development.

Reason: To ensure that adequate car parking and access is provided and retained to serve the houses development in accordance with Policies CP3 of the Core Strategy DPD1 and Policy DM15 of the Development Management DPD 2015.

11. Access to the Renown from the development shall be restricted to pedestrian and cycle access only.

Reason: In the interest of highway safety in accordance with Policies CP3 of the Core Strategy DPD1 and Policy DM15 of the Development Management DPD 2015.

12. The nursery development shall not be occupied until a parking management plan for the nursery development has been submitted to and agreed in writing by the Local Planning Authority. On first occupation of the Nursery development the agreed management plan shall be implemented as approved.

Reason: To ensure that the car parking is satisfactorily managed in the interests of traffic management and highway safety in accordance with Policies KP2 and CP3 of the Core Strategy DPD1 and Policy DM15 of the Development Management DPD 2015.

13. No construction works for the nursery building above the floor slab level shall take place until details of refuse store have been submitted to and approved by the Local Planning Authority. The refuse store shall be installed as in accordance with the approved details prior to first occupation of the development and permanently retained thereafter. Waste storage and collection from the development shall be carried out in accordance with details set out in the submitted Design and Access Statement dated December 2016

Reason: In the interest of visual amenity and to ensure that satisfactory waste management is undertaken in the interests of highway safety and visual amenity and to protect the character of the surrounding area, in accordance with Policies KP2 and CP3 of the Core Strategy DPD1 and Policy DM15 of the Development Management DPD 2015.

14. No construction works for the housing development above the floor slab level shall take place until details of the refuse stores shown on plan No P_702 have been submitted to and approved by the Local Planning Authority. The refuse stores shall be installed in accordance with the approved details prior to first occupation of the housing development and permanently retained thereafter.

Reason: In the interest of visual amenity and to protect the character of the surrounding area, in accordance with Policies KP2 and CP3 of the Core Strategy DPD1 and Policy DM15 of the Development Management DPD 2015.

15. The Nursery development shall not be occupied until details of secure, covered cycle parking spaces to serve the development have been submitted to and agreed in writing by the Local Planning Authority. The approved scheme shall be implemented on first occupation and shall be permanently retained thereafter.

Reason: To ensure that adequate cycle parking is provided and retained to serve the development in accordance with Policies CP3 of the Core Strategy DPD1 and Policy DM15 of the Development Management DPD 2015.

16. No development shall take place for any phase of the development (as defined in the Design and Access Statement dated December 2016) including any works of demolition, until a Construction Method Statement for that phase of the development has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the construction period for the related phase of development. The Statement shall provide, amongst other things, for:
- i) the parking of vehicles of site operatives and visitors
 - ii) loading and unloading of plant and materials
 - iii) storage of plant and materials used in constructing the development
 - iv) the erection and maintenance of security hoarding
 - v) measures to control the emission of dust and dirt during construction
 - vi) a scheme for recycling/disposing of waste resulting from demolition and construction works that does not allow for the burning of waste on site.

Reason: In the interests of visual amenity and the amenities of surrounding occupiers to Policies Policy DM1 and MD3 of the Development Management DPD 2015.

- 17. No mechanical plant or extraction/ventilation equipment to serve the Nursery shall be installed unless details of the proposed plant or extraction/ventilation equipment have previously been submitted to and agreed by the Local Planning Authority. The equipment shall be installed and retained thereafter in accordance with the approved plans and details.**

Reason: In the interests of visual amenity and the amenities of surrounding occupiers to Policies Policy DM1 and MD3 of the Development Management DPD 2015.

- 18. No meter boxes shall be installed on the front or northern side elevation of the nursery or on the front of the dwellings or side elevations of the dwellings that face a highway.**

Reason: In the interests of visual amenity in accordance with Policies DM1 and MD3 of the Development Management DPD 2015 and the Design and Townscape Guide 2009.

- 19. Prior to installation of any external lighting to the development, details of the lighting shall be submitted to and approved by the Local Planning Authority and the lighting shall only be installed and retained in accordance with the approved details.**

Reason: In the interest of the visual amenities and character of the area, and to protect the amenities of surrounding occupiers in accordance with Policies KP2 and CP4 of the Core Strategy DPD1 and Policies DM1 and DM3 of the Development Management DPD 2015 and the Core Strategy 2009.

- 20. No development shall take place until details of the implementation, maintenance and management of a scheme for surface water drainage works have been submitted to and approved by the local planning authority. The scheme shall be implemented and thereafter managed and maintained in accordance with the approved details. Those details shall include:**

i) An investigation of the feasibility of infiltration SUDS as the preferred approach to establish if the principles of any infiltration based surface water drainage strategy are achievable across the site, based on ground conditions. Infiltration or soakaway tests should be provided which fully adhere to BRE365 guidance to demonstrate this. Infiltration features should be included where infiltration rates allow;

ii) Drainage plans and drawings showing the proposed locations and dimensions of all aspects of the proposed surface water management scheme. The submitted plans should demonstrate the proposed drainage layout will perform as intended based on the topography of the site and the location of the proposed surface water management features;

iii) a timetable for its implementation; and

vii) a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public body or statutory undertaker, or any other arrangements to secure the operation of the sustainable drainage scheme throughout its lifetime.

Reason: To prevent flooding by ensuring the satisfactory storage and disposal of surface water from the site for the lifetime of the development and to prevent environmental and amenity problems arising from flooding in accordance with Policy KP2 and CP4 of the Core Strategy 2007 and area in accordance with policies KP2 and CP4 of the Core Strategy DPD1 and Policy DM2 of the Development Management DPD 2015.

21. Demolition or construction works shall not take place outside 07:30hours to 18:00hours Mondays to Fridays and 08:00hours to 13:00hours on Saturdays nor at any time on Sundays or Bank Holidays.

Reason: In order to protect the amenities of occupiers of the development surrounding occupiers and to protect the character the area in accordance with policies KP2 and CP4 of the Core Strategy DPD1 and Policies DM1 and DM3 of the Development Management DPD 2015.

22. No construction works above the level of the floor slab of the Nursery shall take place until details of the proposed Photovoltaic cells set out in the submitted Energy and Sustainability Statement by Norman Bromley Partnership have been submitted to and approved in writing by the Local Planning Authority. The scheme as approved shall be implemented and brought into use on first occupation of the Nursery development.

Reason: To ensure the development maximises the use of renewable and recycled energy, water and other resources, in accordance with Policy KP2 of the Core Strategy DPD1 and Policy DM2 of the Development Management DPD 2015.

23. No construction works above the level of the floor slab of the dwellings shall take place until details of the proposed Photovoltaic cells set out in the submitted Energy and Sustainability Statement by Norman Bromley Partnership have been submitted to and approved in writing by the Local Planning Authority. The scheme as approved shall be implemented and brought into use on first occupation of the dwellings.

Reason: To ensure the development maximises the use of renewable and recycled energy, water and other resources, in accordance with Policy KP2 of the Core Strategy DPD1 and Policy DM2 of the Development Management DPD 2015.

24. Notwithstanding the provisions of Schedule 2 Part 1 Classes A, B, C, D or F and Schedule 2 part 2 Class A of the Town and Country Planning (General Permitted Development) Order 2015 (as amended) (or any order revoking, re-enacting or modifying that Order), no development extensions or alterations to the dwellings or walls or fences or other means of enclosure shall be erected unless previously agreed in writing by the Local Planning Authority.

Reason: In order to protect the character and visual amenities of the development and the surrounding area and the amenities of occupiers in accordance with policies KP2 and CP4 of the Core Strategy DPD1 and Policy DM1 and DM3 of the Development Management DPD 2015 and the Design and Townscape Guide 2009.

- 25** No construction works above the level of the floor slab shall take place until details of the new accesses, removal of the existing redundant crossovers and street furniture, carriageway widening, on street car parking spaces and public realm improvements (e.g new paving to the front of the site) as shown on plan ref 729 P_708 have been submitted to Southend Borough Council (as local planning authority and highway authority) and the Council has approved in writing a full scheme of works and the relevant highways approvals are in place. The development shall be carried out in accordance with the approved details and retained thereafter.

Reason: In the interests of sustainability, accessibility, highways management, efficiency and safety in accordance DPD1 (Core Strategy) 2007 policy KP2, KP3 and CP3, Policy DM1 and DM15 of the Development Management DPD 2015.

- 26** The Nursery building shall only be used for purposes within Class D1 of the Town and Country Planning (Use Classes) Order 1987 as amended April 2005 (or any statutory modification or re-enactment or replacement thereof (as the case may be) for the time being in force).

Reason: In order to protect the amenities of occupiers of the development surrounding occupiers to protect the character the area in accordance and to ensure that parking provision to serve the development is sufficient, in accordance with KP2, CP3 and CP4 of the Core Strategy DPD1 and Policies DM1, DM3 and DM15 of the Development Management DPD 2015.

- 27** Live or recorded music which is audible outside the side boundary must not be played on the premises.

Reason: In order to protect the amenities of occupiers of the development surrounding occupiers and to protect the character the area in accordance with policies KP2 and CP4 of the Core Strategy DPD1 and Policies DM1 and DM3 of the Development Management DPD 2015.

- 28** The Nursery building shall not be open for use outside the hours of 7.00 – 2300 hours Monday to Friday and 9.00am to 5.00pm Saturdays, Sundays and Bank Holidays

Reason: In order to protect the surrounding occupiers and to protect the character the area in accordance with policies KP2 and CP4 of the Core Strategy DPD1 and Policies DM1 and DM3 of the Development Management DPD 2015.

- 29. Prior to first occupation of the Nursery a Travel Plan must be submitted to and approved in writing by the local planning authority. The Travel Plan must include details of:**
- (a) A comprehensive survey of all users of the nursery school;**
 - (b) Targets set in the Plan to reduce car journeys to the nursery school;**
 - (c) A timetable from implementation**
 - (d) Details of how the Travel Plan will be regularly monitored and amended, if necessary, if targets identified in the Plan are not being met over a period of 5 years from the date the new Nursery school building is occupied.**

At the end of the first and third years of the life of the Travel Plan, reports monitoring the effectiveness of the Travel Plan and setting out any proposed changes to the Plan to overcome any identified problems must be submitted to and approved in writing by the local planning authority. The Travel Plan must be implemented in accordance with the approved details unless otherwise agreed in writing with the local planning authority.

Reason: In the interests of sustainability, accessibility, highways efficiency and safety, residential amenity and general environmental quality in accordance with Policies CP3 of the Core Strategy DPD1 and Policy DM15 of the Development Management DPD 2015.

- 30 The external intrusive noise mitigation measures for the residences set out in the acoustic report submitted by Hepworth Acoustics dated December 2016 (including double glazing, external fabric specification and boundary treatment) shall be implemented to ensure that internal and external noise levels will meet the recommended acoustic criteria based on the guidelines set out in BS 8233: 2014.**

Reason: In order to protect the amenities of future occupiers of the dwellings in accordance with policies DM1 and DM3 of the Development Management DPD 2015.

- 31 The external intrusive noise mitigation measures for the Nursery set out in the acoustic report submitted by Hepworth Acoustics dated December 2016 shall be implanted to ensure that indoor noise levels meet the recommended acoustic criteria based on the guidelines set out in BB93.**

Reason: In order to protect the amenities of future users of the Nursery in accordance with policies DM1 and DM3 of the Development Management DPD 2015.

- 32 During any Construction and Demolition there shall be no burning of waste material on the site.**

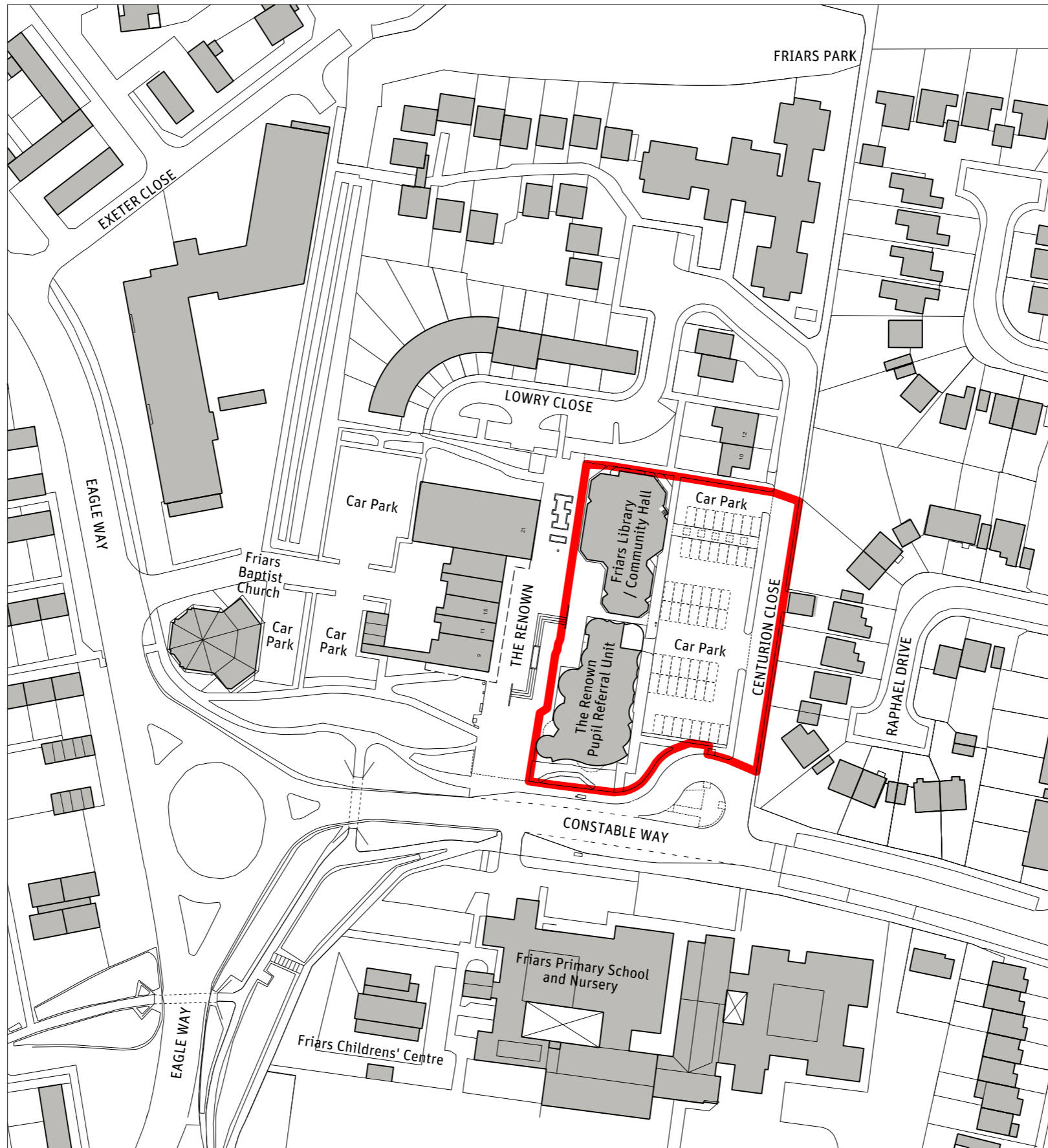
Reason: In order to the protect the amenities of surrounding residents in accordance with policies KP2 and CP4 of the Core Strategy DPD1

Informatives:

Please note that the proposed development subject of this application is liable for a charge under the Community Infrastructure Levy Regulations 2010 (as amended). Enclosed with this decision notice is a CIL Liability Notice for the applicant's attention and any other person who has an interest in the land. This contains details of the chargeable amount and how to claim exemption or relief if appropriate. There are further details on this process on the Council's website at www.southend.gov.uk/cil.

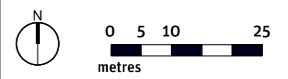
In relation to Condition 25; you are advised to contact Highways Engineer – Martin Warren; (Tel: 01702 215003) to discuss the requisite Highways Licence/Agreements under the Highways Act 1980. You are advised that a Highways Licence/Agreement needs to be in place before any works are carried out to the public highway and any works will need to be carried out by a Council approved contractor.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.



Key
█ Site Boundary

Site Area = 0.42 ha



Rev	Notes	BY	Check	Date
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REVISIONS

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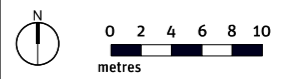
Project:
Friars Library Site
Drawing Title:
Site Location Plan

job no.	drawing no.	revision	stage
729	P_700		3
scale	size	drawn	date
1:1250	A3	LW	9 December 2016

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- Key
- Site Boundary
 - Bins
 - Residential
 - Residential Car Parking
 - Private Gardens
 - Shared Planting
 - Nursery Forecourt
 - Nursery
 - ▶ Front Entrance



Rev	Notes	BY	Check	Date

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Drawing Status: **Planning Application**

Project:
Friars Library Site
Drawing Title:
Proposed Ground Floor Plan

job no.	drawing no.	revision	stage
729	P_702		3
scale	size	drawn	date
1:500	A3	LI	9 December 2016

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Key

- Site Boundary
- Residential
- Nursery Roof / Residential Terraces
- Nursery Canopy

Carriageway Widened

5.5m 2.4m

Tree removed

THE RENOWN - Shopping Parade

NEW Mews (shared surface)

CENTURION CLOSE

CONSTABLE WAY

Friars Baptist Church

Car Park

Car Park / Service Yard

Car Park

No.12

No.10

Nursery 50 child care places

TYPE B 3B/5P

TYPE B 3B/5P

TYPE B 3B/5P

TYPE C 4B/7P

TYPE B 3B/5P

TYPE B 3B/5P

TYPE B 3B/5P

TYPE B 3B/5P

TYPE B 3B/5P

TYPE B 3B/5P

TYPE A 2B/4P

41

N

0 2 4 6 8 10 metres

Rev	Notes	BY	Check	Date

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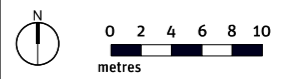
Project:
Friars Library Site
Drawing Title:
Proposed First Floor Plan

job no.	drawing no.	revision	stage
729	P_703		3
scale	size	drawn	date
1:500	A3	LI	9 December 2016

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- Key
- Site Boundary
 - Residential Recycled Slate Roof
 - Green Roof
 - Nursery Canopy



Rev	Notes	BY	Check	Date

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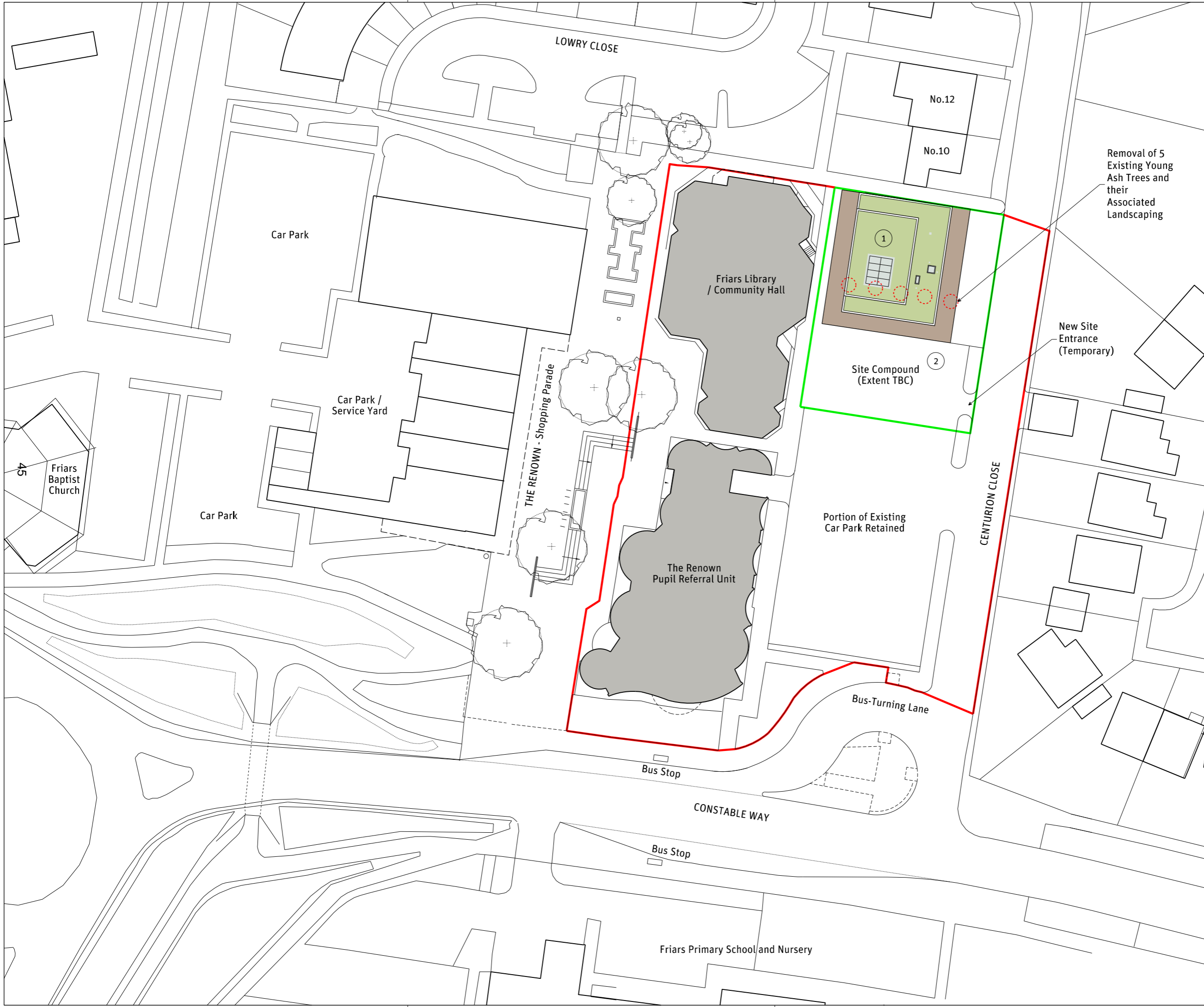
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Drawing Status: **Planning Application**

Project:
Friars Library Site
Drawing Title:
Proposed Roof Plan

job no.	drawing no.	revision	stage
729	P_704	-	3
scale	size	drawn	date
1:500	A3	MB	9 December 2016

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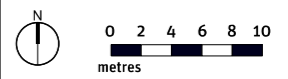


- Key
- Site Boundary
 - Phase 1 Area
 - Existing Tree to be Removed

1. Construction of Proposed 50 Place Nursery
2. Phase 1 Construction Site

Removal of 5 Existing Young Ash Trees and their Associated Landscaping

New Site Entrance (Temporary)



Rev	Notes	BY	Check	Date

REVISIONS

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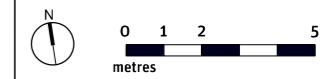
Project:
Friars Library Site
Drawing Title:
Phase 1 Proposed Plan

job no.	drawing no.	revision	stage
729	P_705		3
scale	size	drawn	date
1:500	A3	LI	9 December 2016

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- Key
- Site Boundary
 - 1. Nursery Entrance
 - 2. Parking / Drop-off
 - 3. Green Roof
 - 4. Roof Lights
 - 5. External Storage Sheds - Painted Metal
 - 6. Perimeter Soft Landscaping: Grass
 - 7. Perimeter Soft Landscaping: Wildflower Meadow
 - 8. Private Gardens (Indicative Only)
 - 9. Houses (Indicative Only)
 - 10. Canopy Roof with Downlighting
 - 11. On-Street Parking Bay
 - 12. Fabric Canopy
 - 13. Raised Bed for Children Planting / Learning / Sand
 - 14. Play Area: Permeable Tarmac
 - 15. Play Area: Soft Surface- Rubber Crumb
 - 16. Feathered Fruit Trees (Incl. Apple x 2, Pear, Plum)
 - 17. Replacement Maple Tree
 - 18. Silver Birch Tree
 - 19. Climbing Frame
 - 20. Resin Bound Aggregate Surfacing
 - 21. 2m PPC Metal Mesh Fence
 - 22. Native Hedge
 - 23. Photovoltaic Panels
 - 24. 2m Brick Wall



Rev	Notes	BY	Check	Date
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Drawing Status: **Planning Application**

Project:
Friars Library Site
Drawing Title:
Nursery: Proposed Roof Plan and Landscape

job no.	drawing no.	revision	stage
729	P_706		3
scale	size	drawn	date
1:200	A3	LI	9 December 2016

47

Pedestrian Zone

THE RENOWN

New Residential Mews

CENTURION CLOSE

LOWRY CLOSE

Parking Area

Grass

Private Garden

10-12 Centurion Close

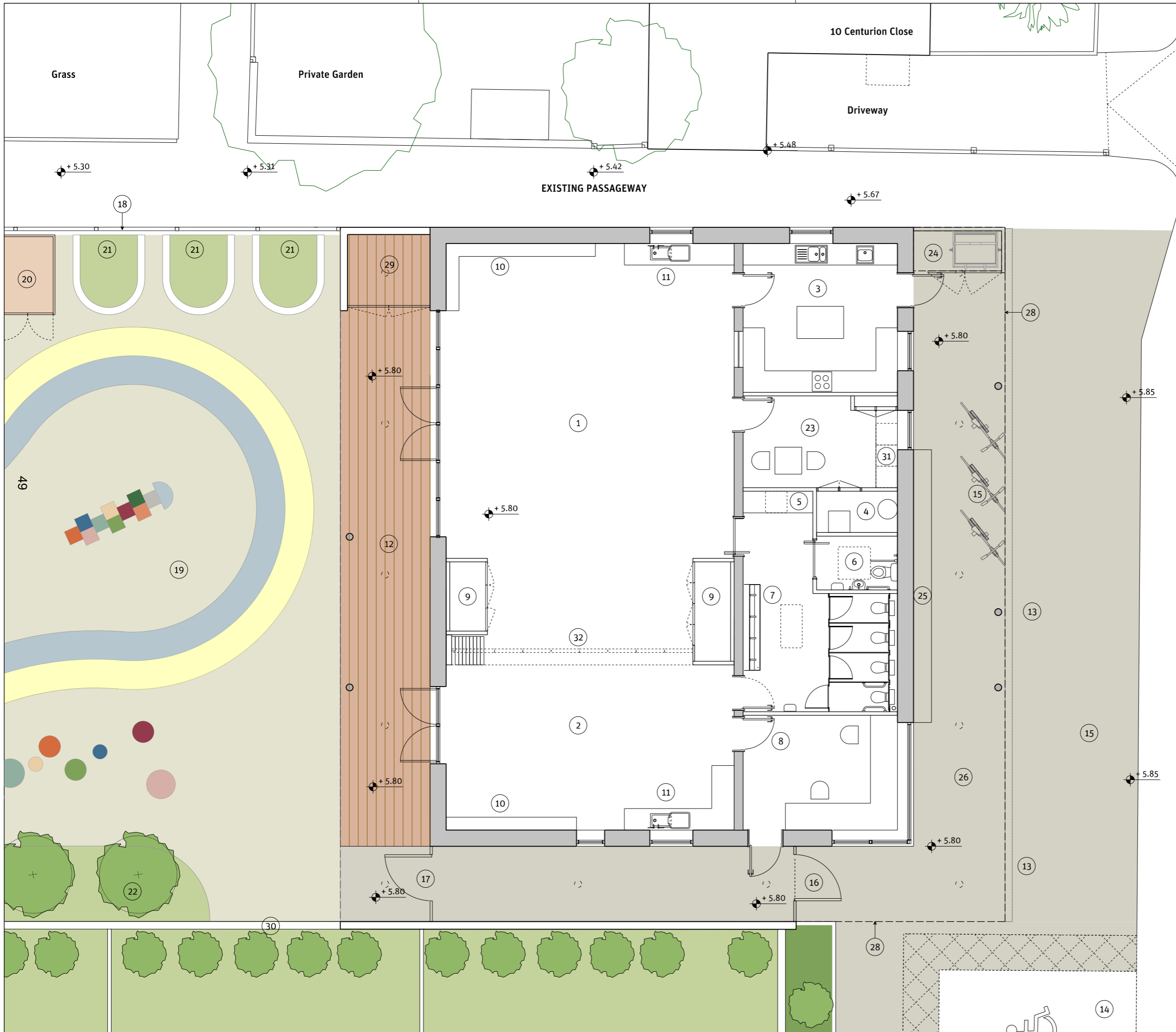
Existing Passageway

5.5m

5.5m

2.4m

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- Key
1. Childcare Area 1 (34 no. 3/4 year olds)
 2. Childcare Area 2 (16 no. 2 year olds)
 3. Kitchen / Servery
 4. Store / Plant
 5. Baby Change Area
 6. Accessible WC
 7. WCs / Trough Sink
 8. Office
 9. Storage Wall
 10. Cloaks
 11. Wet Area Sink
 12. External Terrace with Canopy over Forecourt - Resin Bound Aggregate
 13. Disabled Parking Space
 14. Bicycle Parking Stands
 15. 2m Fence/Gate with Entry Buzzer/Camera
 16. Low Level Fence/Gate
 17. 2m PPC Metal Mesh Perimeter Fence
 18. Play Areas (Soft & Hard Surfacing)
 19. External Storage Sheds
 20. Raised Flower Beds / Sand Pit
 21. Perimeter Soft Landscaping with Fruit Trees
 22. Staff Room
 23. Bin Store
 24. Bench
 25. External Forecourt with Canopy over
 26. Extent of Canopy
 27. Storage Area
 28. Brick Garden Wall (2-Metres High)
 29. Laundry / Kitchenette
 30. Sliding Folding Partition



Rev	Notes	BY	Check	Date

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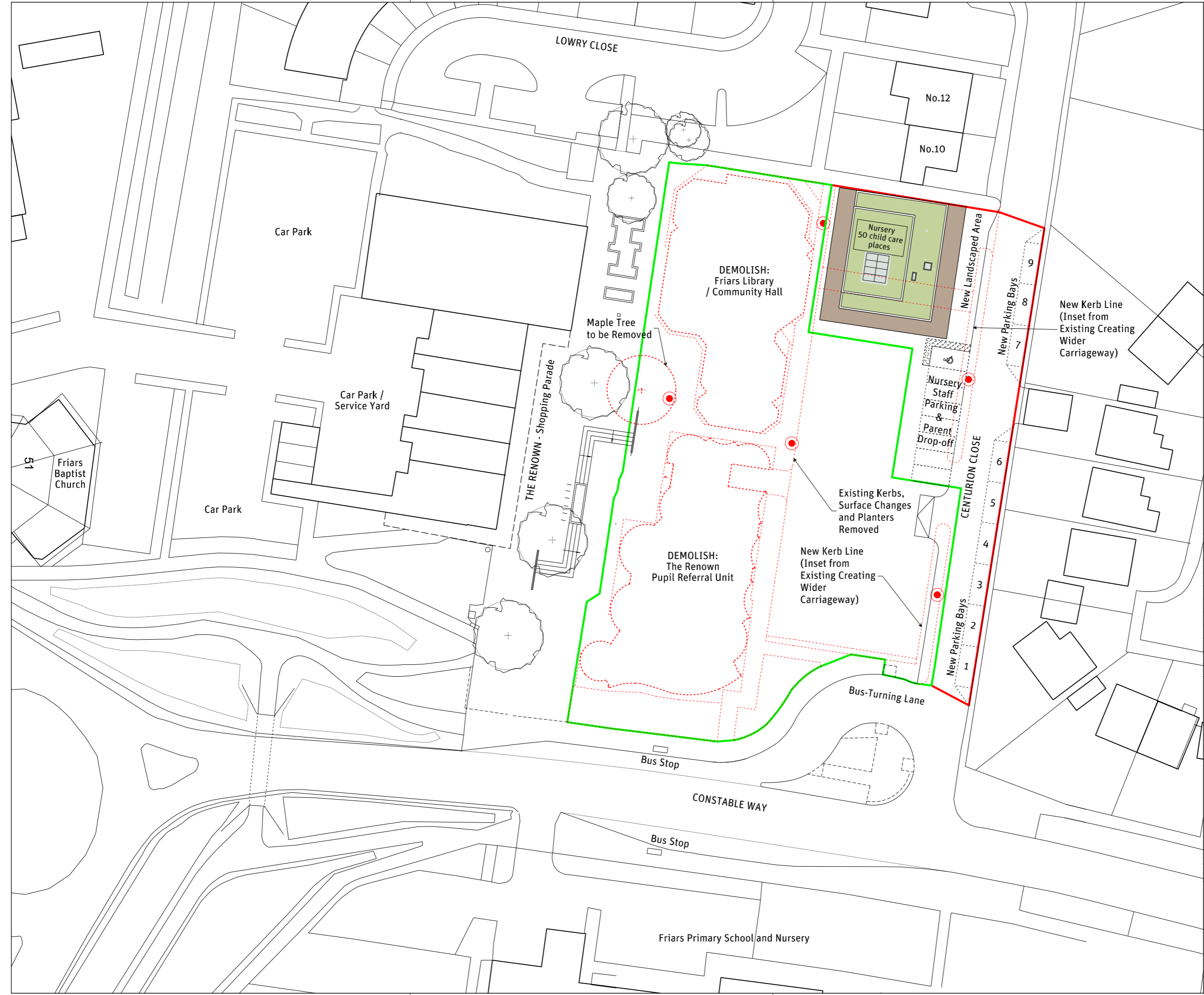
Drawing Status: **Planning Application**

Project:
Friars Library Site
 Drawing Title:
Nursery: Proposed Ground Floor Plan

job no.	drawing no.	revision	stage
729	P_707		3
scale	size	drawn	date
1:100	A3	LI	9 December 2016

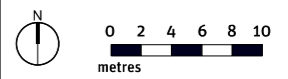
CENTURION CLOSE

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- Key**
- Site Boundary
 - Phase 2 Area
 - - - Existing Buildings to Demolish / Mature Trees to be Removed
 - - - Existing Kerbs, Surface Changes and Planters to be Removed
 - Existing Street Lamps / CCTV Posts to Remove

- Notes**
- Phase 2a: Highways Works, Construct New Parking Bays, Decant Friars Centre Playgroup into New Nursery Building.
 - Phase 2b: Demolition Works
 - Phase 3: Construct Nursery Playgrounds (Not Shown)



Rev	Notes	BY	Check	Date
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Drawing Status: **Planning Application**

Project:
Friars Library Site
Drawing Title:
Phase 2 Works
(Demolition Plan and Highways Works)

job no.	drawing no.	revision	stage
729	P_708		3
scale	size	drawn	date
1:500	A3	LI	9 December 2016

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Rev	Notes	BY	Check	Date

- Bins / External Store
- Residential Car Parking
- Private Gardens
- Shared Planting
- New Pavement / Forecourt
- Proposed Tree

N

 0 1 2 3 4 5
 metres

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Drawing Status: **Planning Application**

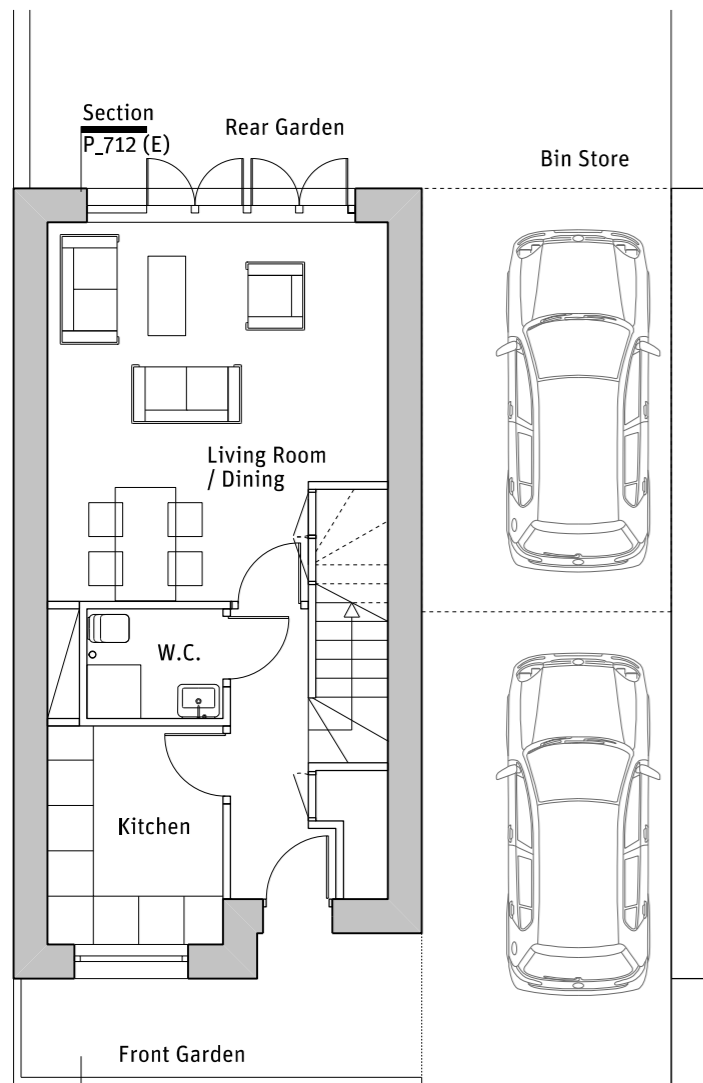
Project: **Friars Library Site**
 Drawing Title: **Proposed Ground Floor / Landscape Plan**

job no.	drawing no.	revision	stage
729	P_710		3
scale	size	drawn	date
1:250	A3	LI	9 December 2016

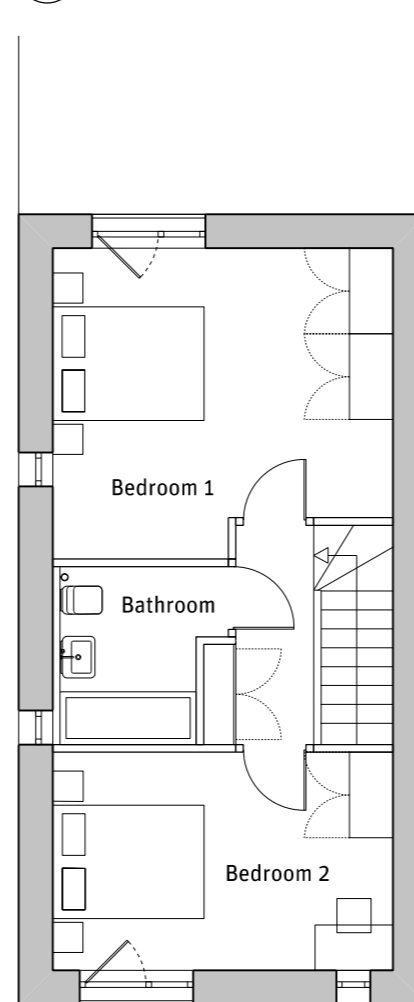
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HOUSE TYPE A - 2B4P

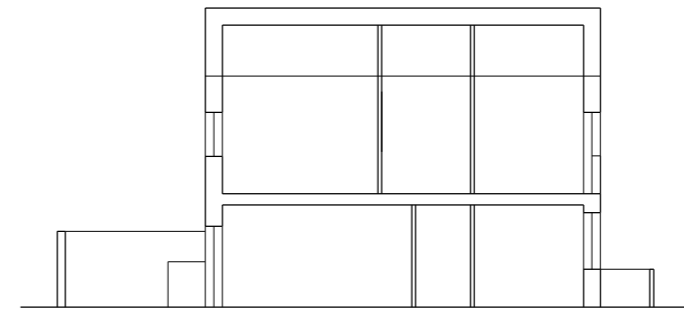
A GROUND FLOOR
P_712 Plan 1:100



B FIRST FLOOR
P_712 Plan 1:100



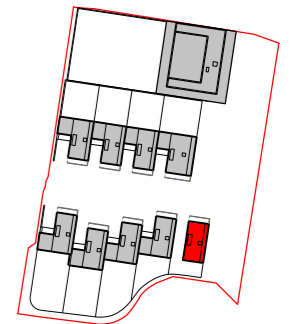
E SECTION A-A
P_712 Section 1:200



F SIDE ELEVATION
P_712 Elevation 1:200



- Key**
1. Recycled Slate Roof Tiles with Metal Flashing
 2. Brick
 3. Recessed Brick with Projecting Alternate Courses
 4. Polyester Powdercoated Aluminium Windows (Frame Colour tbc)
 5. Green Tiles
 6. Polyester Powdercoated Front Door (Colour tbc)
 7. Timber-Clad Bin Store
 8. Garden Gate - Polyester Powdercoated Perforated Metal (Colour tbc)
 9. Down Pipe and Gutter
 10. Juliet Balcony - Glazed Panel with Steel Rail



0 1 2 3 4
1:100 (metres)

55

Section
P_712 (E)

C FRONT ELEVATION
P_712 Elevation 1:100



D REAR ELEVATION
P_712 Elevation 1:100



G Table of Room Sizes
P_712 Type A

Room	Room Areas (m ²)
Living Room/Dining	21
Kitchen	6.5
Bedroom 1	17.5
Bedroom 2	13
W.C.	2.5
Bathroom	5
Storage	4
Circulation (incl. stairs)	10.5
Total GIA (m²)	85

Rev	Notes	BY	Check	Date

REVISIONS

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Drawing Status: **Planning Application**

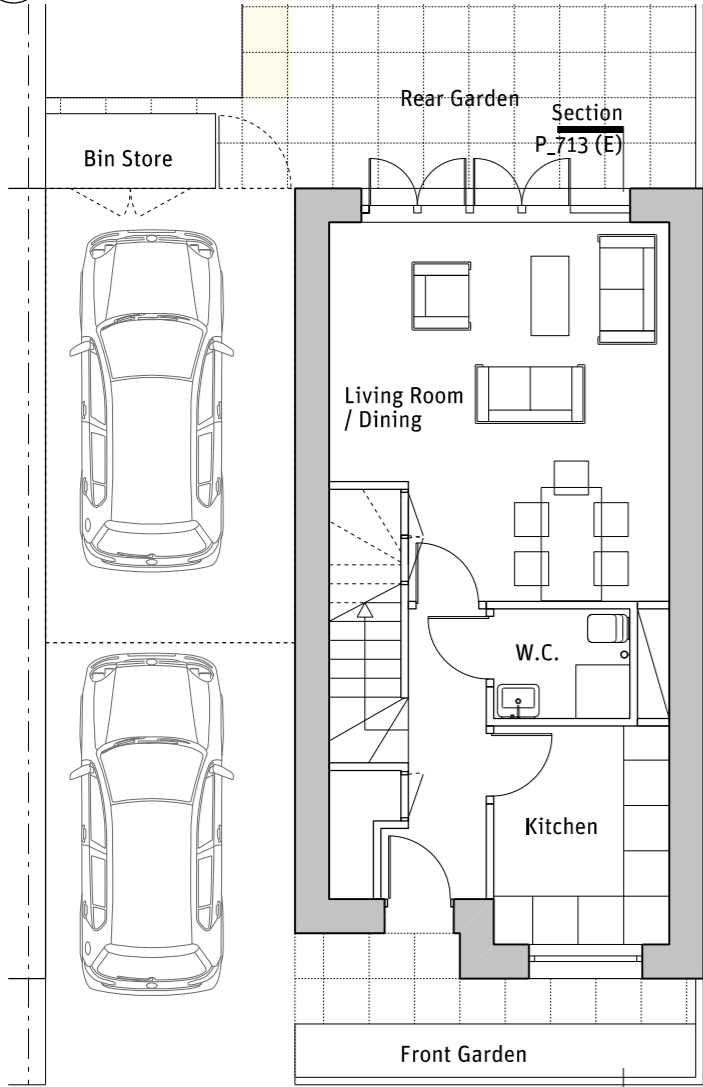
Project:
Friars Library Site
Drawing Title:
Proposed House Type A
2B4P

job no.	drawing no.	revision	stage
729	P_712		3
scale	size	drawn	date
Varies	A3	LW	9 December 2016

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HOUSE TYPE B - 3B5P

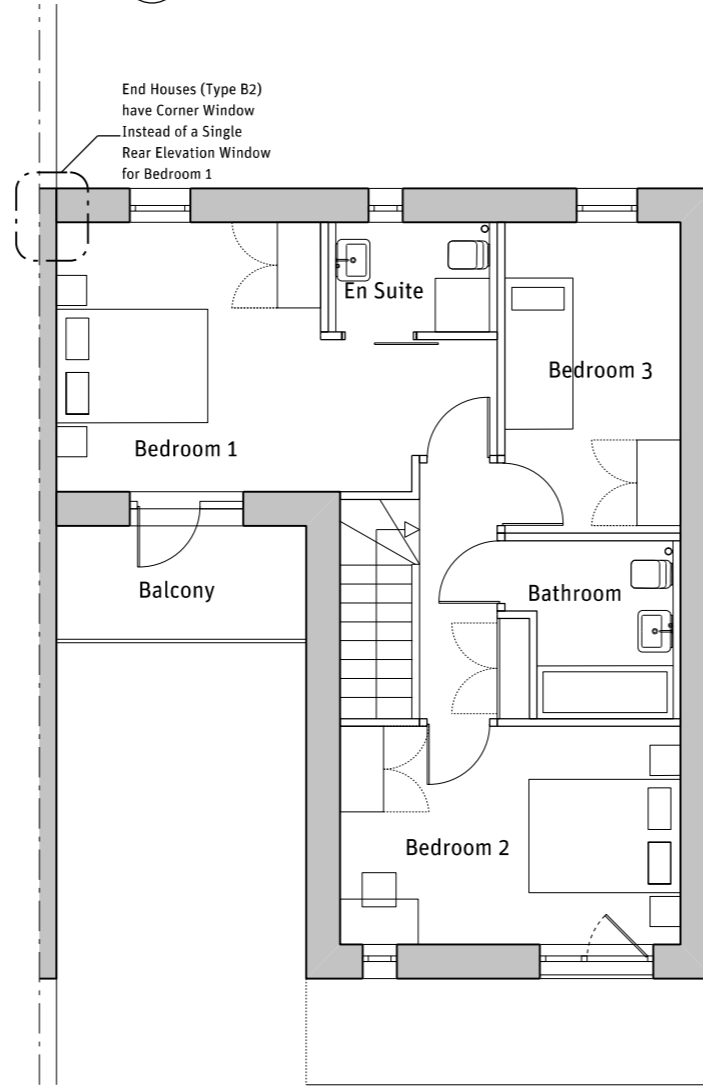
A GROUND FLOOR
P_713
Plan 1:100



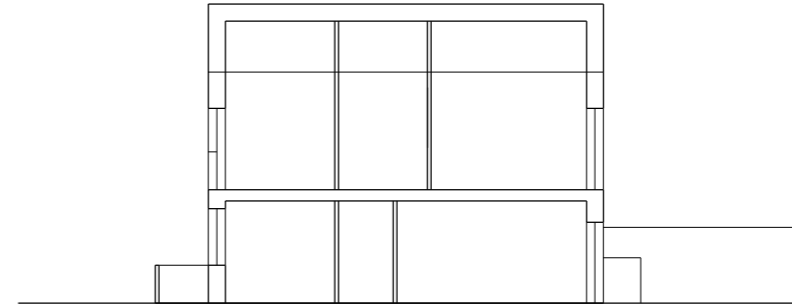
Section
P_713 (E)

Section
P_713 (E)

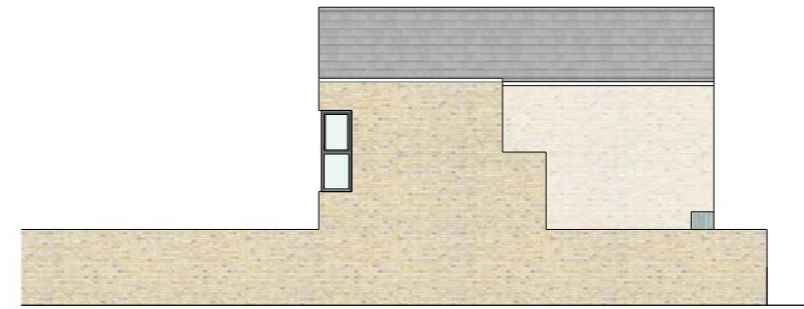
B FIRST FLOOR
P_713
Plan 1:100



C SECTION A-A
P_713
Section 1:200



D SIDE ELEVATION (Type B2 Only)
P_713
Elevation 1:200



G Table of Room Sizes
P_713
Type B

Room	Room Areas (m ²)
Living Room/Dining	21
Kitchen	6.5
Bedroom 1 (incl. en suite)	20
Bedroom 2	13
Bedroom 3	9.5
W.C.	2.5
Bathroom	5
Storage	4
Circulation (incl. stairs)	11
Total GIA (m²)	98

F REAR ELEVATION
P_713
Elevation 1:100



End Houses (Type B2)
have Corner Window
Instead of a Single
Rear Elevation Window
for Bedroom 1

E FRONT ELEVATION
P_713
Elevation 1:100

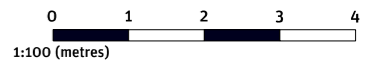


Key

1. Recycled Slate Roof Tiles with Metal Flashing
2. Brick
3. Recessed Brick with Projecting Alternate Courses
4. Polyester Powdercoated Aluminium Windows / Glazed Doors (Frame Colour tbc)
5. Green Tiles
6. Polyester Powdercoated Front Door (Colour tbc)
7. Timber-Clad Bin Store
8. Garden Gate - Polyester Powdercoated Perforated Metal (Colour tbc)
9. Down Pipe and Gutter
10. Glazed Panel with Steel Rail Balustrade to Regular and Juliet Balconies
11. Metal Flashing to Parapet of Flat Roof

■ Type B1: Mid-Terrace

■ Type B2: End House



Rev	Notes	BY	Check	Date

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Drawing Status: **Planning Application**

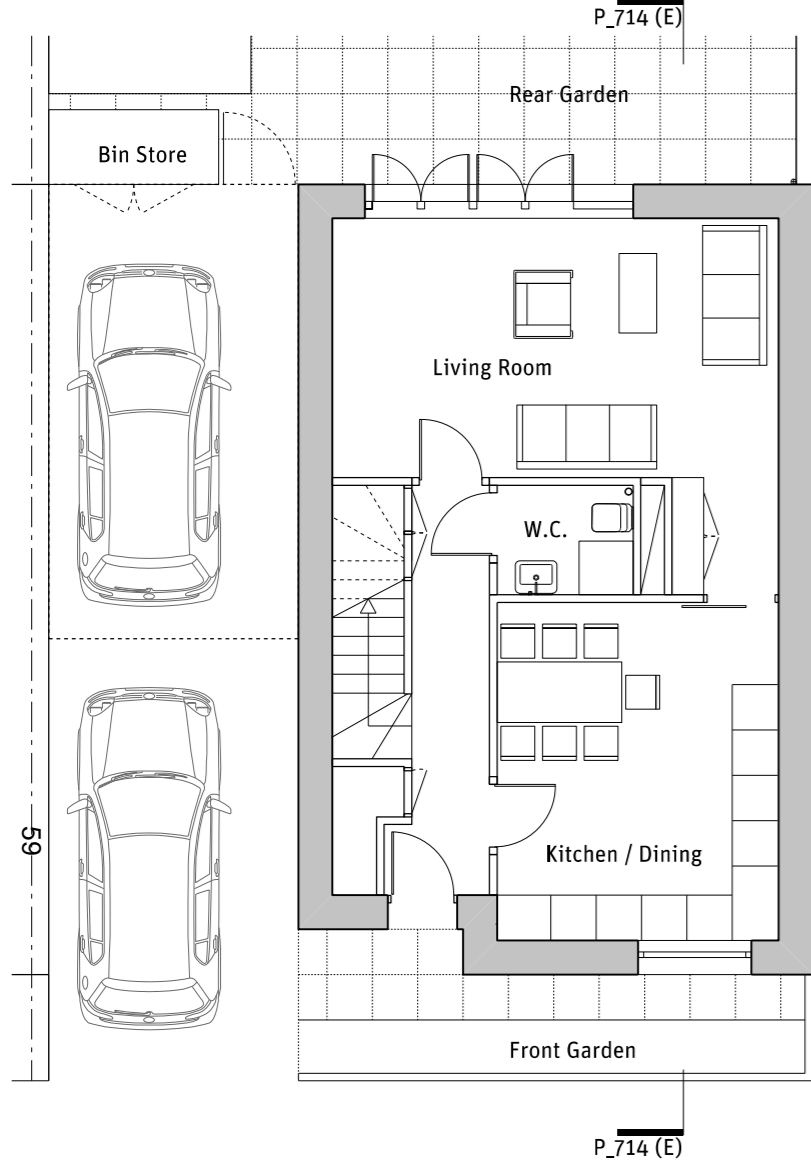
Project:
Friars Library Site
Drawing Title:
**Proposed House Type B
3B5P**

job no.	drawing no.	revision	stage
729	P_713	-	3
scale	size	drawn	date
varies	A3	LW	9 December 2016

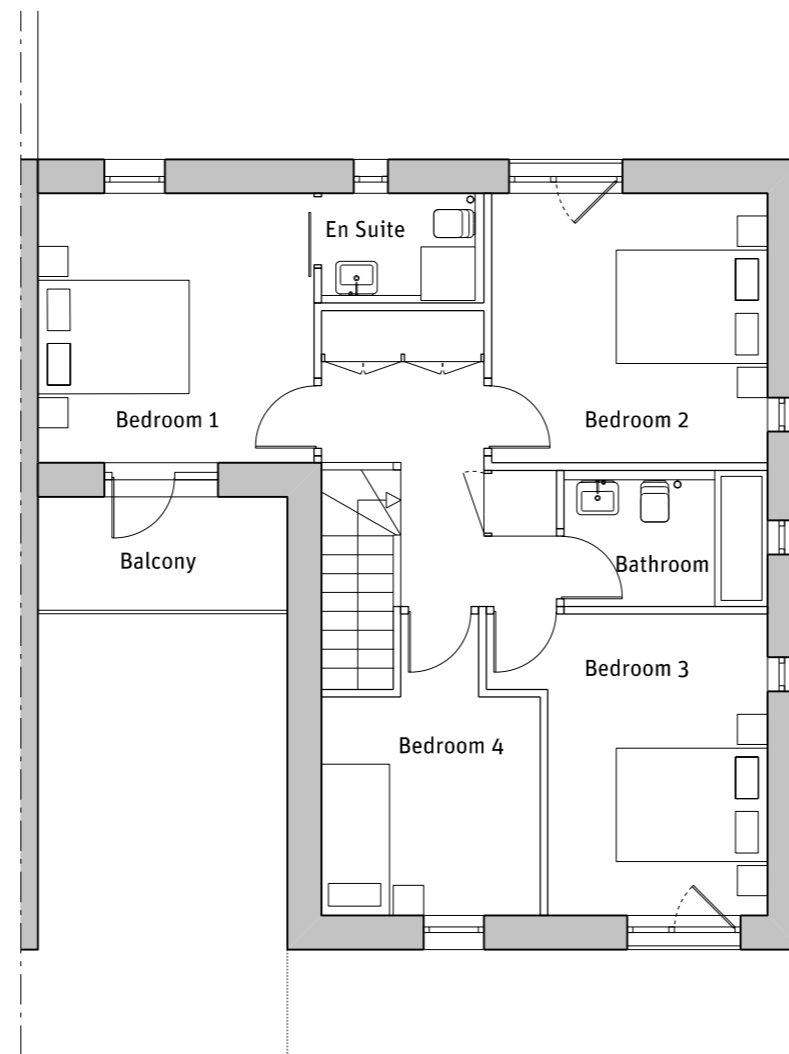
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HOUSE TYPE C - 4B7P

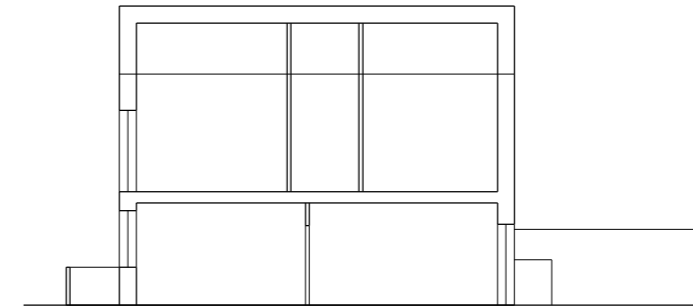
A GROUND FLOOR
P_714 Plan 1:100



B FIRST FLOOR
P_714 Plan 1:100



C SECTION A-A
P_714 Section 1:200



D SIDE ELEVATION
P_714 Elevation 1:200



- Key**
1. Recycled Slate Roof Tiles with Metal Flashing
 2. Brick
 3. Recessed Brick with Projecting Alternate Courses
 4. Polyester Powdercoated Aluminium Windows / Glazed Doors (Frame Colour tbc)
 5. Green Tiles
 6. Polyester Powdercoated Front Door (Colour tbc)
 7. Timber-Clad Bin Store
 8. Garden Gate - Polyester Powdercoated Perforated Metal (Colour tbc)
 9. Down Pipe and Gutter
 10. Glazed Panel with Steel Rail Balustrade to Regular and Juliet Balconies
 11. Metal Flashing to Parapet of Flat Roof



0 1 2 3 4
1:100 (metres)

E FRONT ELEVATION
P_714 Elevation 1:100



F REAR ELEVATION
P_714 Elevation 1:100



G Table of Room Sizes
P_714 Type C

Room	Room Areas (m ²)
Living Room	22
Kitchen/Dining	16.5
Bedroom 1 (incl. en suite)	16.5
Bedroom 2	13
Bedroom 3	12.5
Bedroom 4	9.5
W.C.	2.5
Bathroom	5
Built Storage	6
Circulation (incl. stairs)	15.5
Total GIA (m²)	125

Rev Notes BY Check Date

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Drawing Status: **Planning Application**

Project:
Friars Library Site
Drawing Title:
**Proposed House Type C
4B7P**

job no.	drawing no.	revision	stage
729	P_714	-	3
scale	size	drawn	date
varies	A3	LW	9 December 2016

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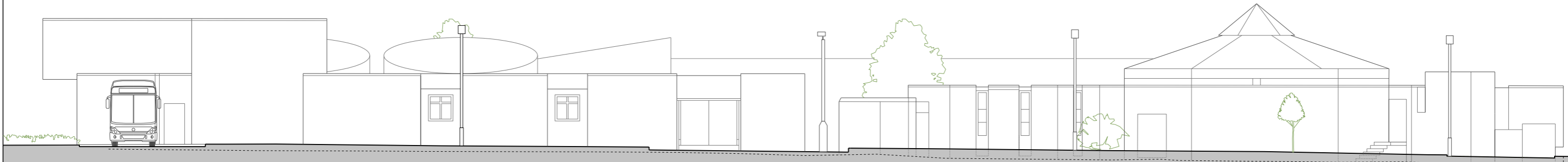
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Drawing Status: **Planning Application**
 Project: **Friars Library Site**
 Drawing Title: **Proposed Scheme - Axonometric View**

job no.	drawing no.	revision	stage
729	P_718	-	3
scale	size	drawn	date
-	A3	LI	9 December 2016

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A Existing
P_720 Elevation 1:200

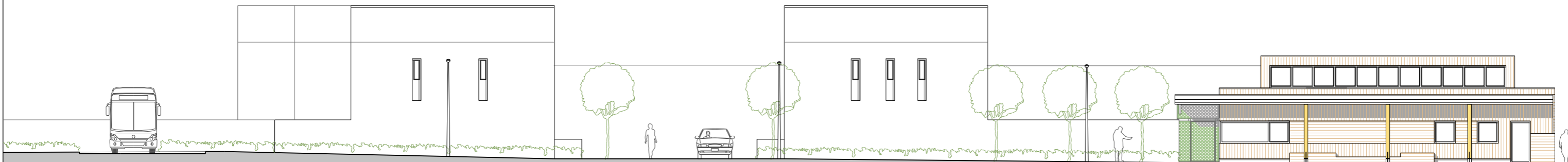


Bus Turning Lane /
Constable Way

The Renown Pupil Referral Unit

Friars Library / Community Hall

B Proposed
P_720 Elevation 1:200



Bus Turning Lane /
Constable Way

Housing

New Mews /
'Home Zone'

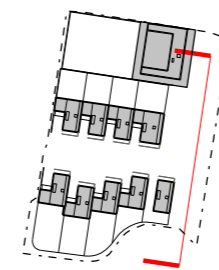
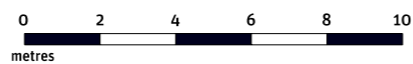
Housing

Nursery

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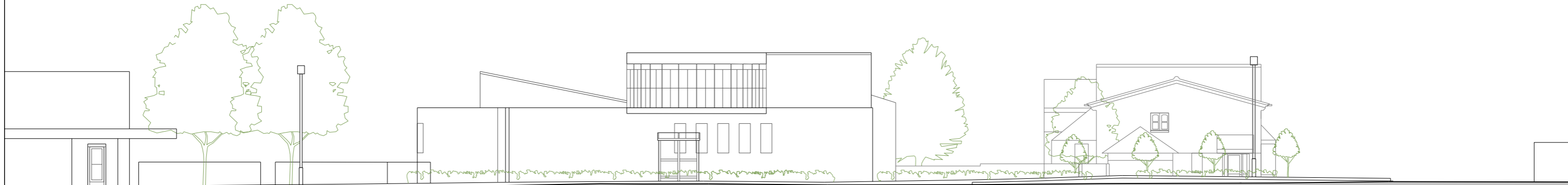
Drawing Status: **Planning Application**

Project:
Friars Library Site
Drawing Title:
**Housing: Street Scene Elevation - East
Elevation onto Centurion Close**

job no.	drawing no.	revision	stage
729	P_720		3
scale	size	drawn	date
1:200	A3	LW	9 December 2016

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A Existing
P_721 Elevation 1:200



The Renown

The Renown Pupil Referral Unit

Car Park (10-12 Centurion Close behind)

Centurion Close

B Proposed
P_721 Elevation 1:200



The Renown

Proposed Housing (Garden Wall)

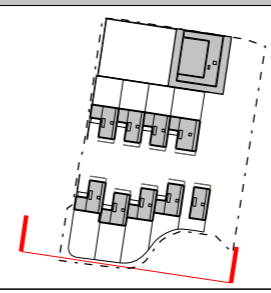
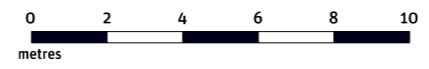
Centurion Close

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Drawing Status: Planning Application			
Project: Friars Library Site			
Drawing Title: Housing: Street Scene Elevation - South Elevation onto Constable Way			
job no.	drawing no.	revision	stage
729	P_721		3
scale	size	drawn	date
1:200	A3	LW	9 December 2016

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A Existing
P_722 Elevation 1:200



Friars Library / Community Hall

The Renown Pupil Referral Unit

Constable Way

B Proposed
P_722 Elevation 1:200



PPC Metal Mesh Fence

Replacement Maple Tree

Brick Garden Wall

Native Planting

Brick Garden Wall

Native Planting

Nursery

Housing

'Home Zone' / Mews

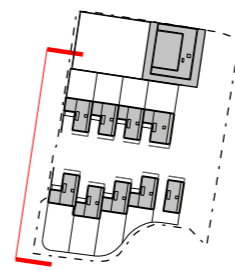
Housing

Constable Way

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Drawing Status: **Planning Application**
Project: **Friars Library Site**
Drawing Title: **Housing: Street Scene Elevation - West Elevation onto The Renown**
job no. 729 drawing no. P_722 revision stage 3
scale 1:200 size A3 drawn LW date 9 December 2016

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A North Side
P_723
Elevation 1:200



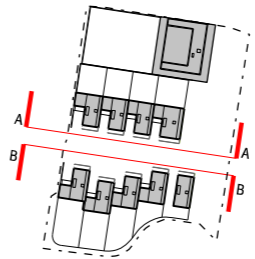
B South Side
P_723
Elevation 1:200



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Drawing Status: **Planning Application**
 Project: **Friars Library Site**
 Drawing Title: **Housing: Elevations onto Proposed Mews North & South**

job no.	drawing no.	revision	stage
729	P_723		3
scale	size	drawn	date
1:200	A3	LW	9 December 2016

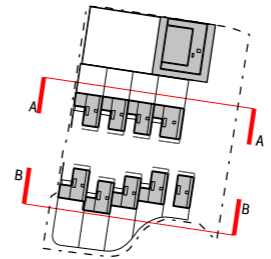
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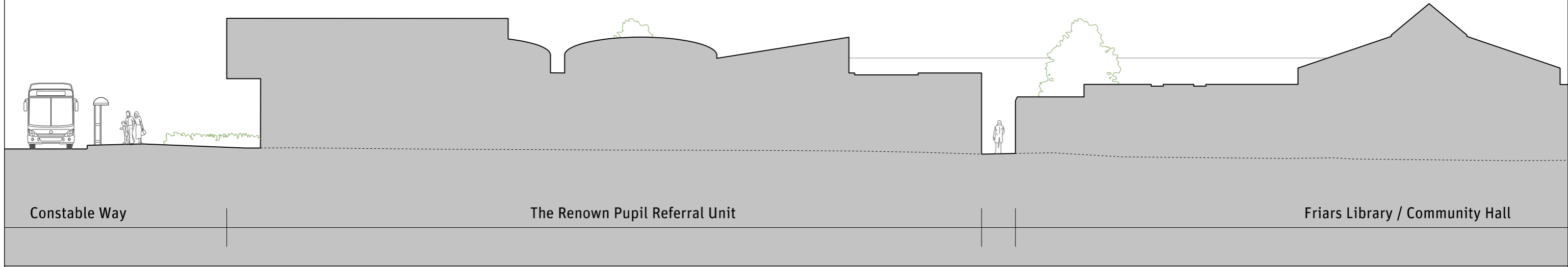
Drawing Status: **Planning Application**

Project: **Friars Library Site**
 Drawing Title: **Housing: Elevations onto Back Gardens North & South**

job no.	drawing no.	revision	stage
729	P_724		3
scale	size	drawn	date
1:200	A3	LW	9 December 2016

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A Existing
P_725 Elevation 1:200



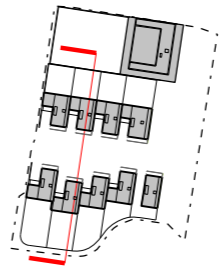
B Proposed
P_725 Elevation 1:200



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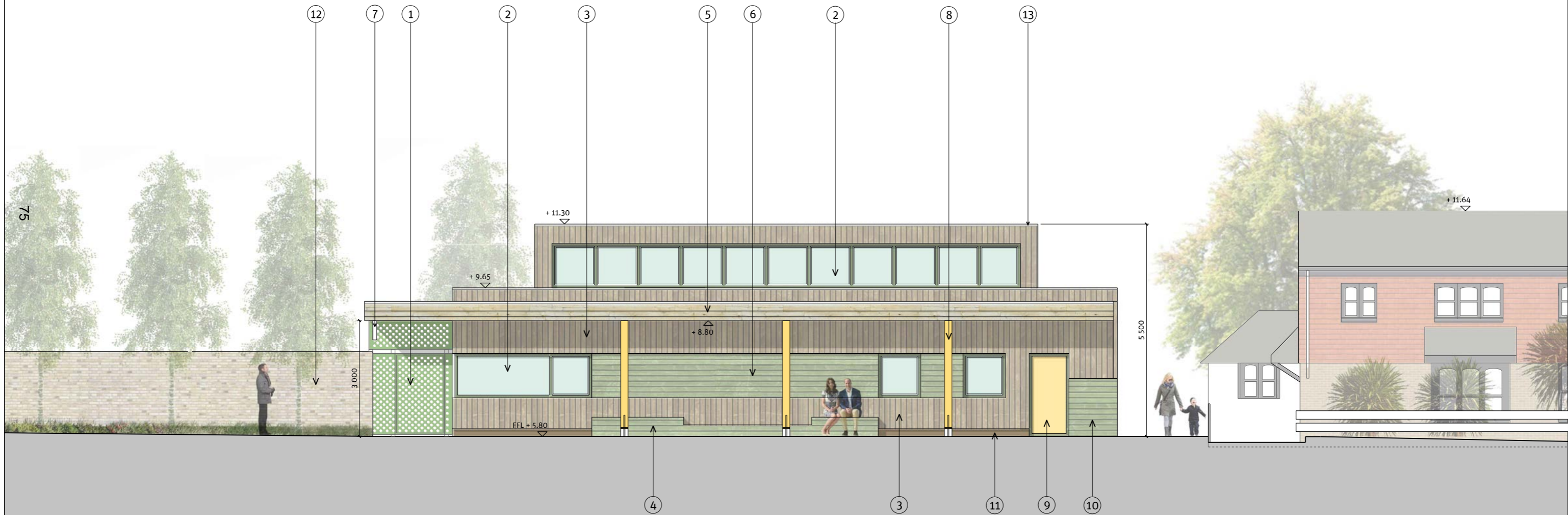
Project: **Friars Library Site**
 Drawing Title: **Housing: South-North Section**

job no.	drawing no.	revision	stage
729	P_725		3
scale	size	drawn	date
1:200	A3	LW	9 December 2016

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KEY

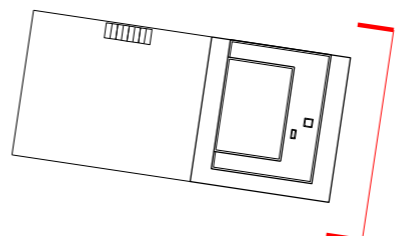
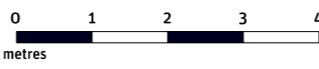
- 1. Gate with Entry Buzzer Polyester Powdercoated Perforated Metal (Colour tbc)
- 2. Polyester Powdercoated Aluminium Windows (Frame Colour tbc)
- 3. Timber Rain Screen Cladding Vertical Tongue & Groove Larch Boards
- 4. Timber Bench
- 5. Canopy with Metal Flashing
- 6. Timber Rain Screen Cladding Horizontal Tongue & Groove Stained Larch Boards (Colour tbc)
- 7. 'Nursery' Sign (Text tbc)
- 8. Painted Column Supporting Canopy
- 9. Polyester Powdercoated Door (Colour tbc)
- 10. Timber Clad Bin Store
- 11. Recessed Plinth
- 12. Brick Wall to Gardens
- 13. Polyester Powdercoated Metal Flashing



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Drawing Status: **Planning Application**

Project: **Friars Library Site**
 Drawing Title: **Proposed Nursery Elevation 01 East Elevation onto Centurion Close**

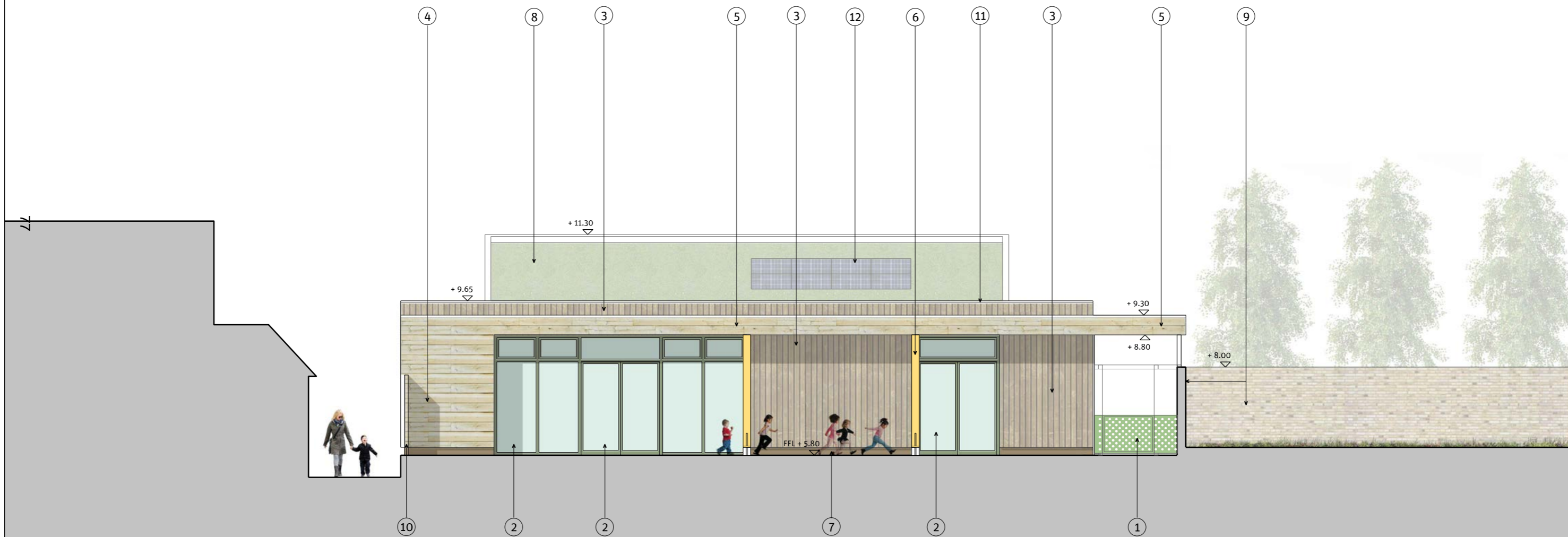
job no.	drawing no.	revision	stage
729	P_730		3

scale	size	drawn	date
1:100	A3	LW	9 December 2016

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KEY

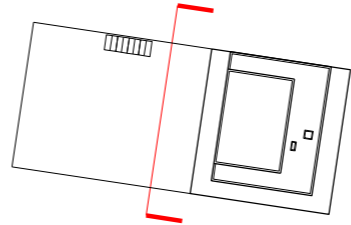
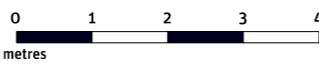
- 1. Child-Safety Gate - Polyester Powdercoated Perforated Metal (Colour tbc)
- 2. Polyester Powdercoated Aluminium Windows / Doors (Frame Colour tbc)
- 3. Timber Rain Screen Cladding Vertical Tongue & Groove Larch Boards
- 4. Timber Rain Screen Cladding Horizontal Tongue & Groove Stained Larch Boards (Colour tbc)
- 5. Canopy with Metal Flashing
- 6. Painted Column Supporting Canopy
- 7. Recessed Plinth
- 8. Green Roof
- 9. Brick Wall to Gardens
- 10. Enclosing Steel Mesh Fence
- 11. Polyester Powdercoated Metal Flashing
- 12. Photovoltaic Panels



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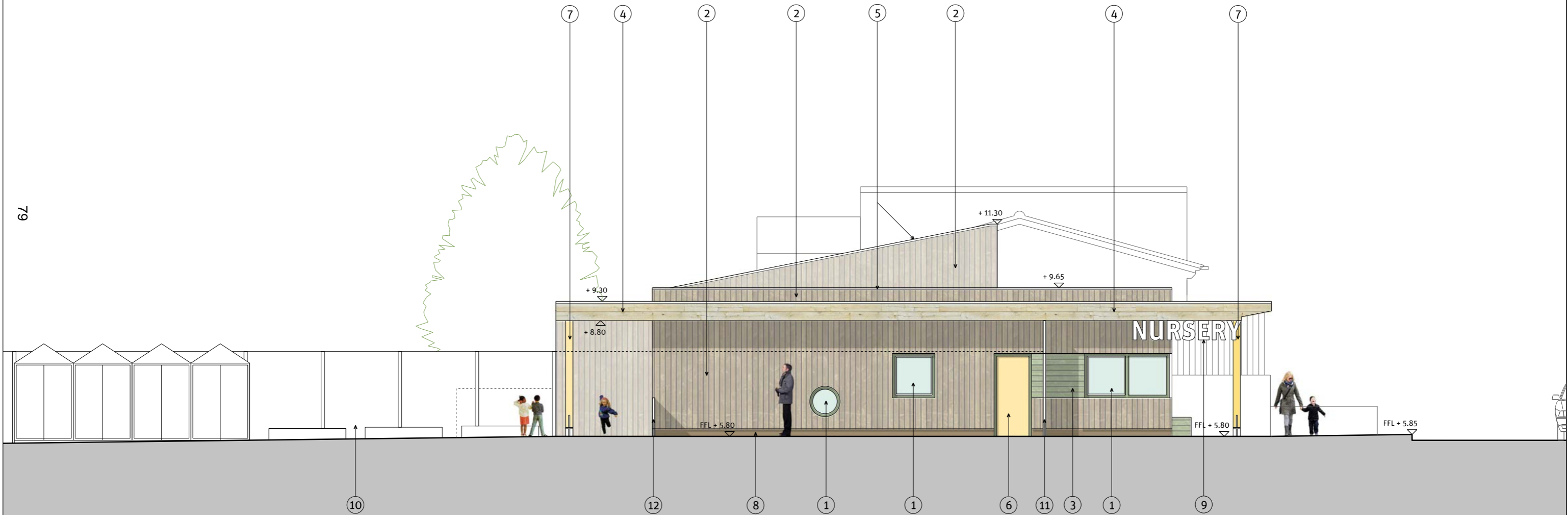
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Drawing Status: **Planning Application**
 Project: **Friars Library Site**
 Drawing Title: **Proposed Nursery Elevation 02 West Elevation onto External Play Area**
 job no. **729** drawing no. **P_731** revision stage **3**
 scale **1:100** size **A3** drawn **LW** date **9 December 2016**

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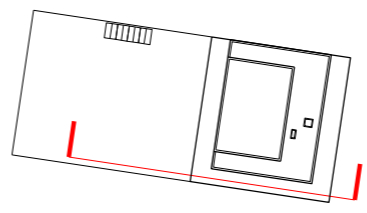
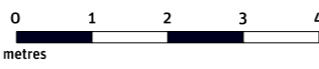
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- 3. Timber Rain Screen Cladding Horizontal Tongue & Groove Stained Larch Boards (Colour tbc)
- 4. Canopy with Metal Flashing
- 5. Polyester Powdercoated Metal Flashing
- 6. Polyester Powdercoated Door (Colour tbc)
- 7. Painted Column Supporting Canopy
- 8. Recessed Plinth
- 9. 'Nursery' Sign (Text tbc)
- 10. Enclosing Steel Mesh Fence
- 11. Gate with Entry Buzzer Polyester Powdercoated Perforated Metal (Colour tbc)
- 12. Child-Safety Gate - Polyester Powdercoated Perforated Metal (Colour tbc)



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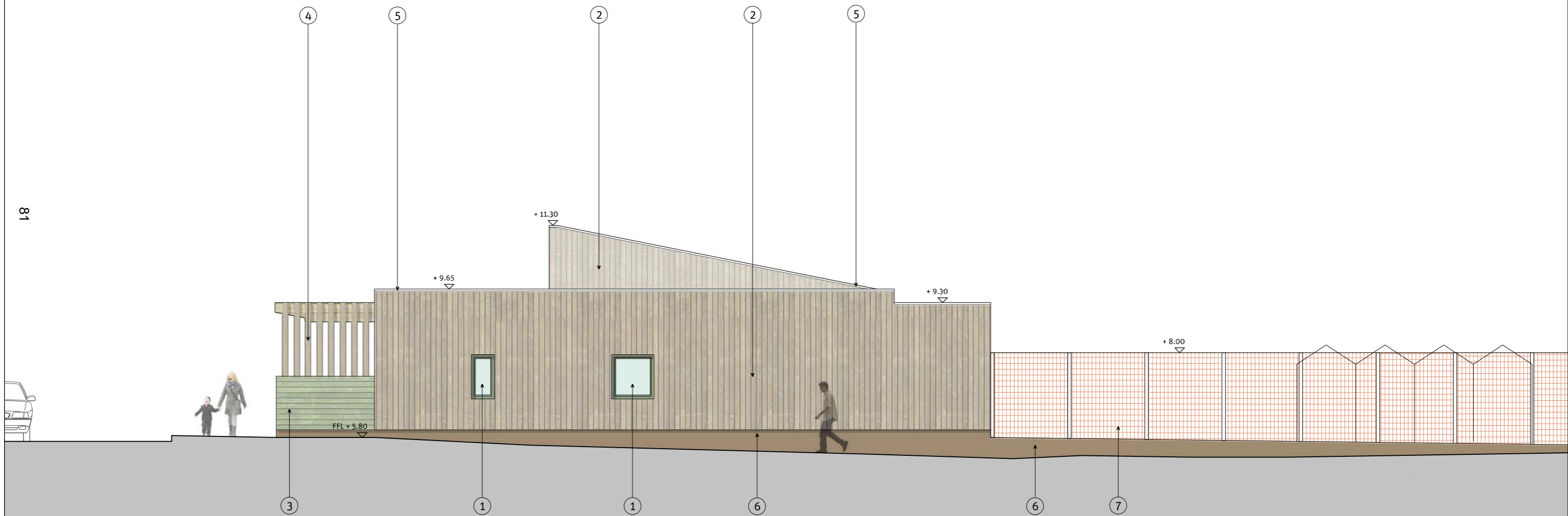
Drawing Status: **Planning Application**
 Project: **Friars Library Site**
 Drawing Title: **Proposed Nursery Elevation 03 South Elevation onto Entrance Corridor**

job no.	drawing no.	revision	stage
729	P_732		3
scale	size	drawn	date
1:100	A3	LW	9 December 2016

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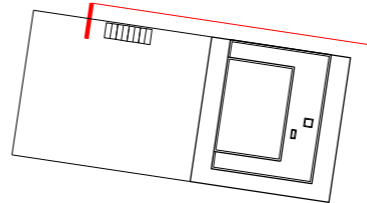
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- 5. Polyester Powdercoated Metal Flashing
- 6. Recessed Plinth
- 7. Enclosing Steel Mesh Fence



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Drawing Status: **Planning Application**

Project: **Friars Library Site**
 Drawing Title: **Proposed Nursery Elevation O4 North Elevation onto Passageway**

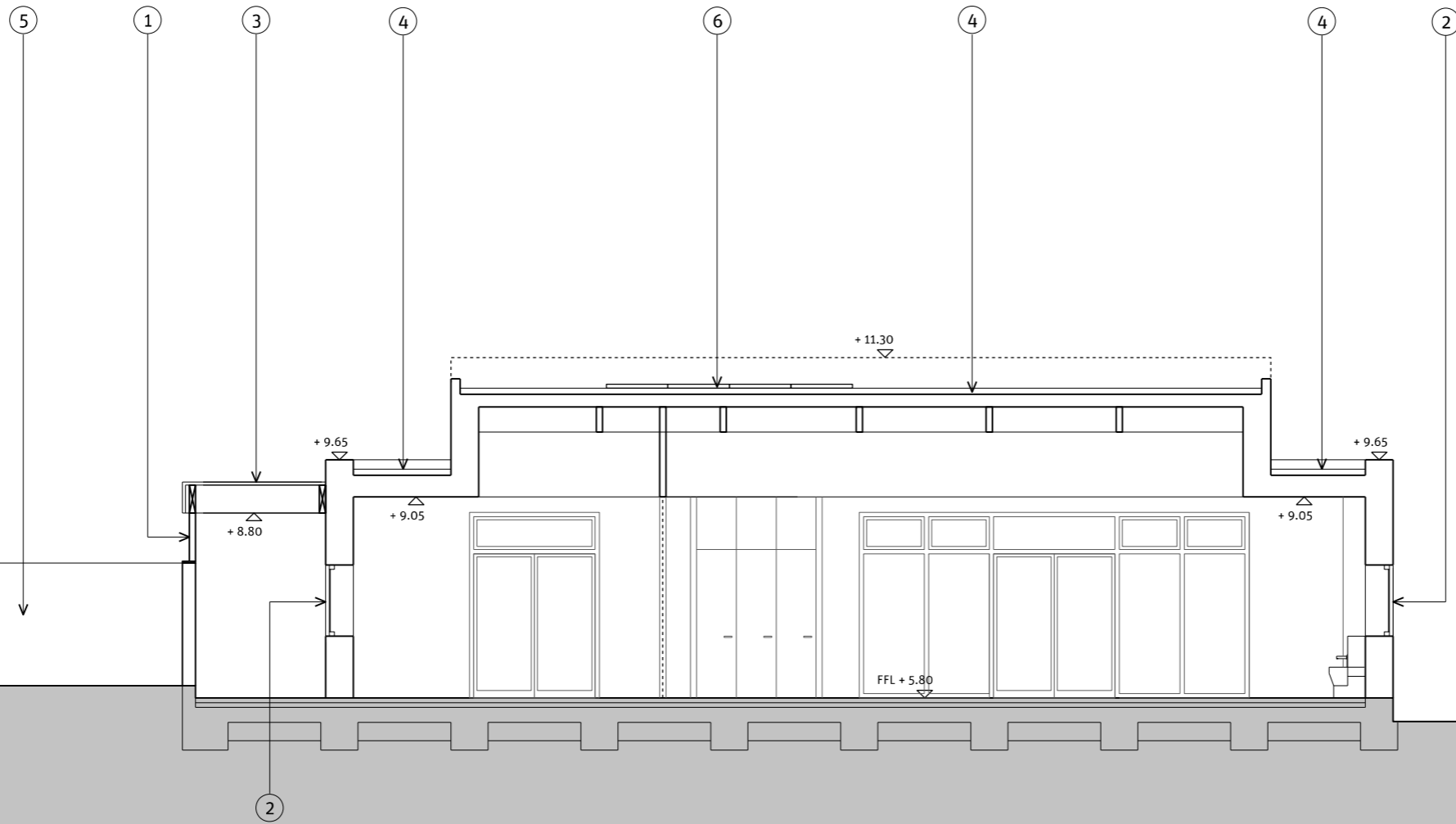
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729	P_733	P2	3
scale	size	drawn	date
1:100	A3	LW	9 December 2016

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- 1. Polyester Powdercoated Perforated Metal Panel(Colour tbc)
- 2. Polyester Powdercoated Aluminium Windows (Frame Colour tbc)
- 3. Canopy with Metal Flashing
- 4. Green Roof
- 5. Brick Wall to Gardens
- 6. Photovoltaic Panels

83



Garden Wall of Proposed Housing

External

Childcare Area 2

Childcare Area 1

Passageway

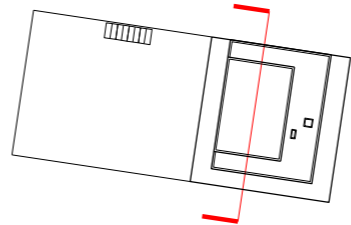
10-12 Centurion Close

Entrance
Corridor

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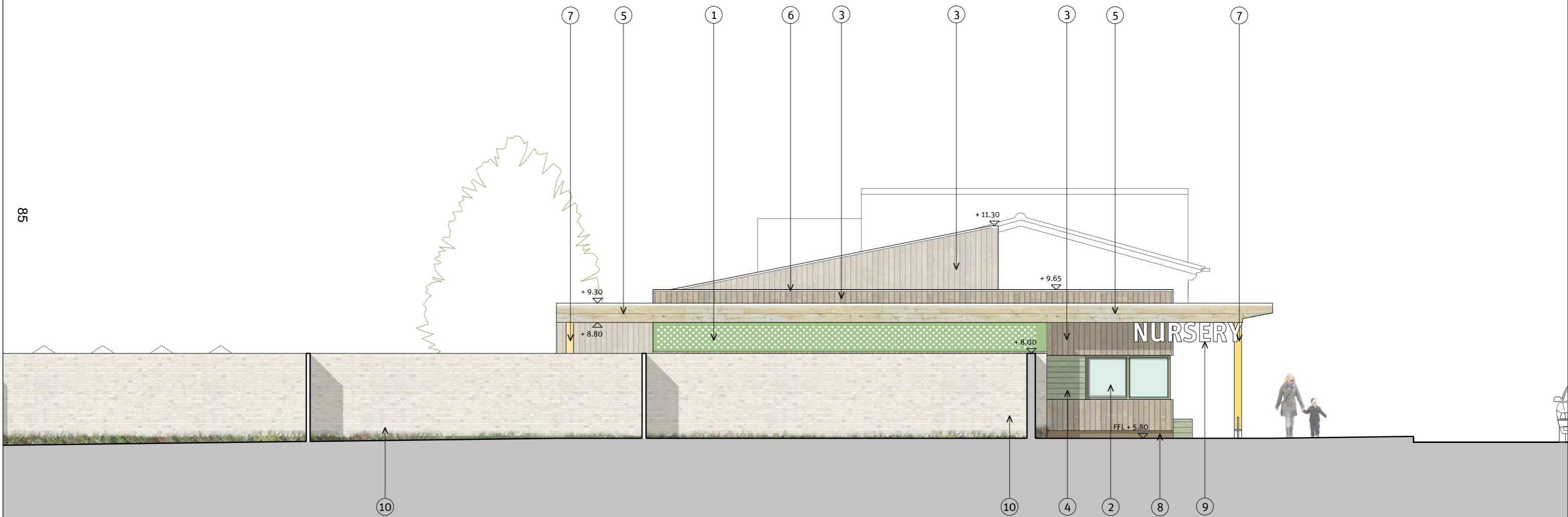
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 Drawing Title: **Nursery: Section B-B (South-North)**

job no.	drawing no.	revision	stage
729	P_735	-	3
scale	size	drawn	date
1:100	A3	LW	9 December 2016

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- 8. Recessed Plinth
- 9. 'Nursery' Sign (Text tbc)
- 10. Brick Wall to Gardens

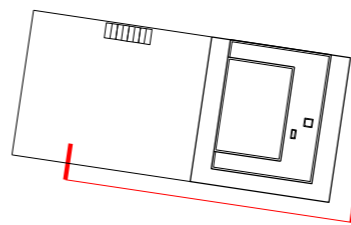
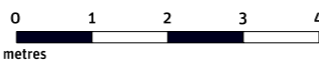


85

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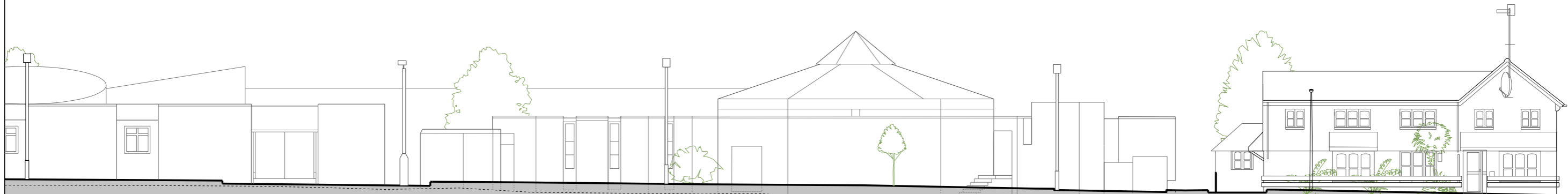
Drawing Status: **Planning Application**

Project: **Friars Library Site**
 Drawing Title: **Proposed Nursery Elevation 05 South Elevation onto Proposed Gardens**

job no.	drawing no.	revision	stage
729	P_737	-	3
scale	size	drawn	date
1:100	A3	LW	9 December 2016

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A Existing
P_740 Elevation 1:200

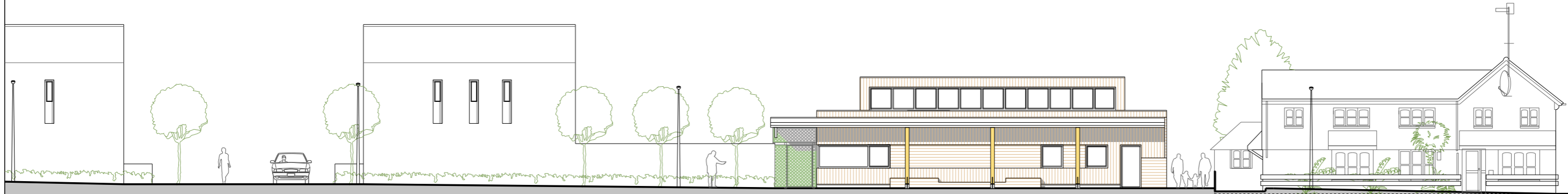


The Renown Pupil Referral Unit

Friars Library / Community Hall

10-12 Centurion Close

B Proposed
P_740 Elevation 1:200



Housing

'Home Zone' / Mews

Housing

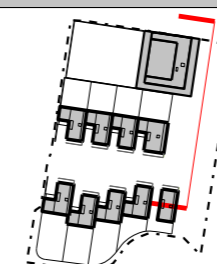
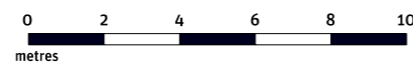
Nursery

10-12 Centurion Close

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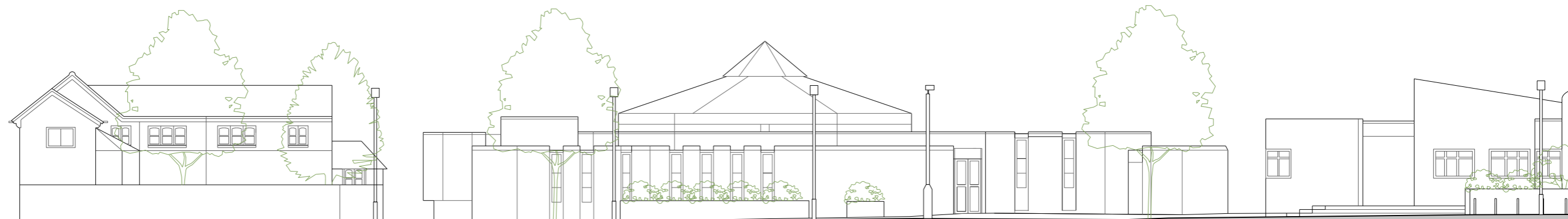
Drawing Status: **Planning Application**

Project: **Friars Library Site**
Drawing Title: **Nursery: Street Scene Elevation - East Elevation onto Centurion Close**

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729	P_740	-	3
scale	size	drawn	date
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A Existing
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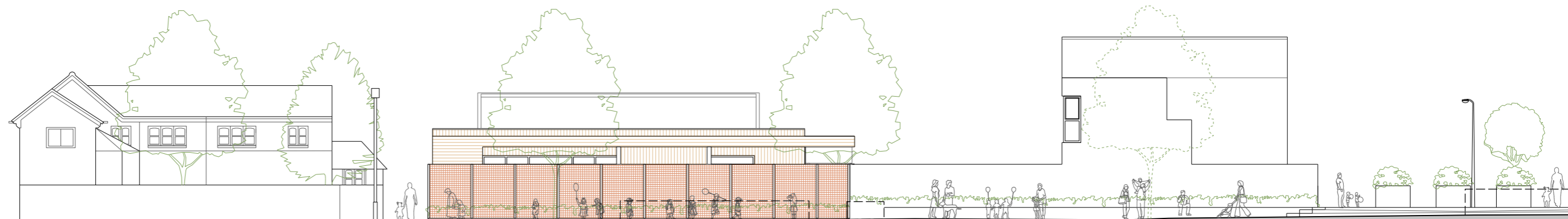


10-12 Centurion Close

Friars Library / Community Hall

The Renown Pupil Referral Unit

B Proposed
P_741 Elevation 1:200



10-12 Centurion Close

Nursery

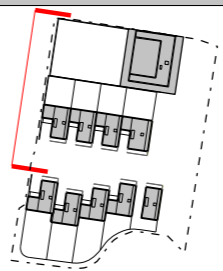
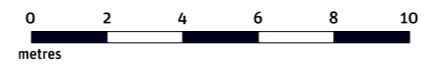
Housing

'Home Zone' / Mews

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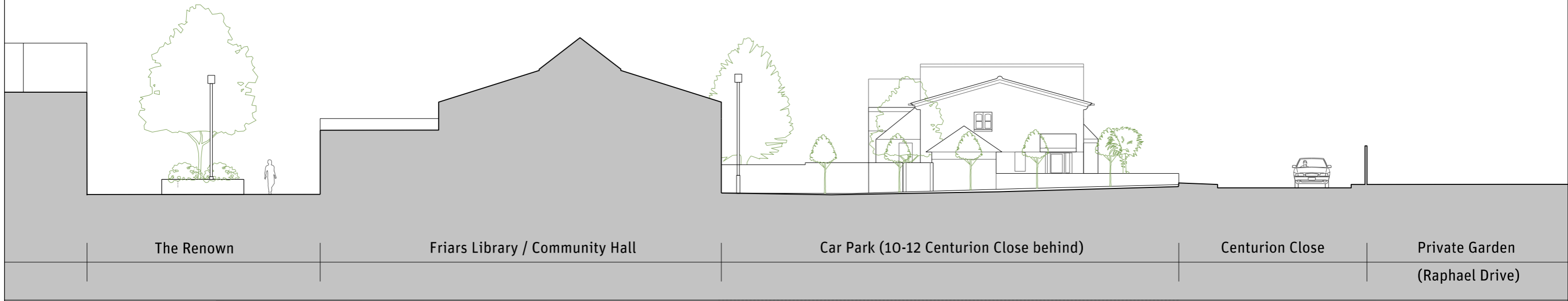
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Project: **Friars Library Site**
 Drawing Title: **Nursery: Street Scene Elevation - West Elevation onto The Renown**

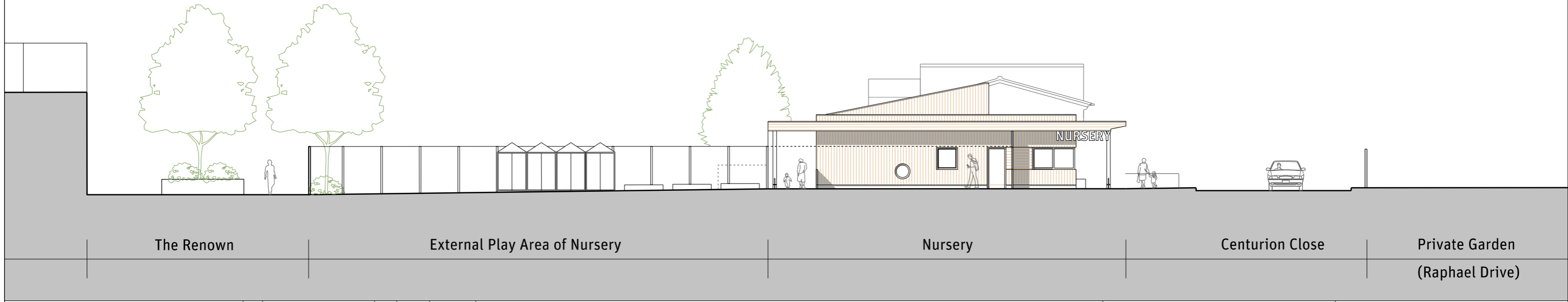
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scale	size	drawn	date
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A Existing
P_742 Elevation 1:200



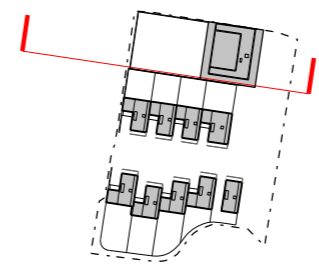
B Proposed
P_742 Elevation 1:200



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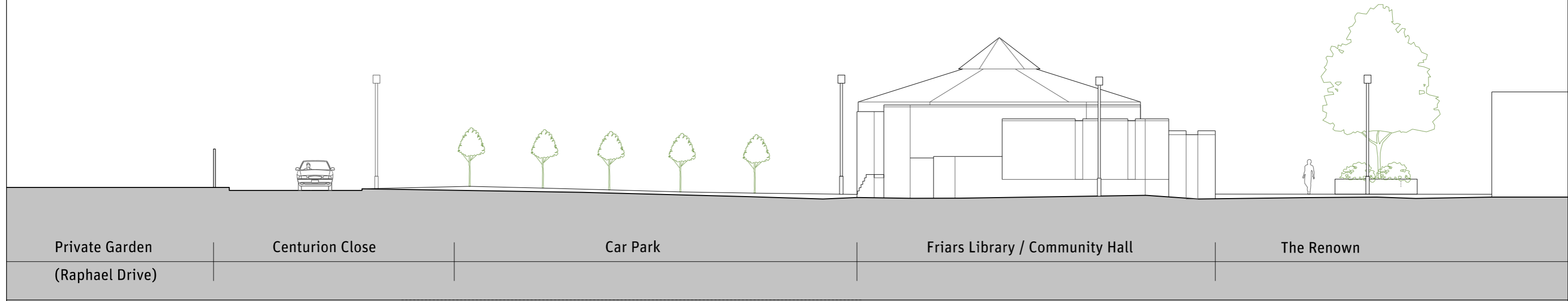
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Project: **Friars Library Site**
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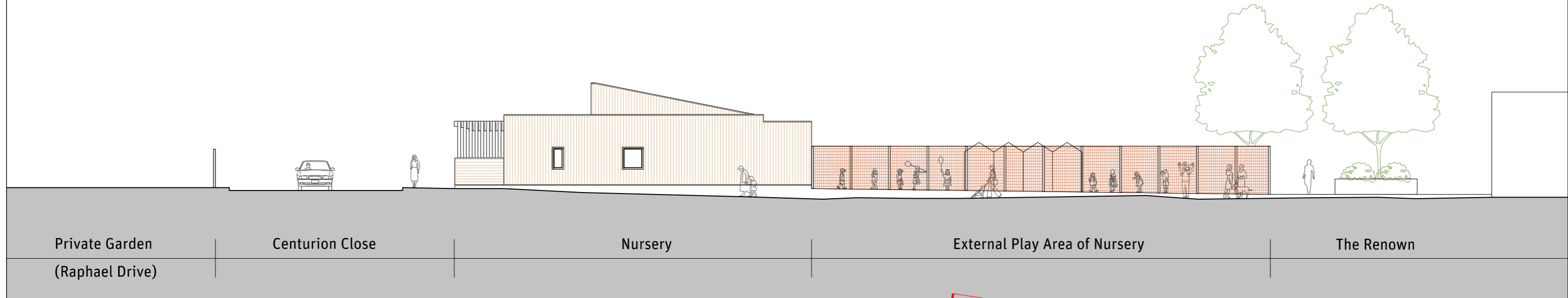
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scale	size	drawn	date
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A Existing
P_743 Elevation 1:200



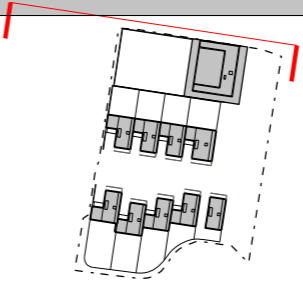
B Proposed
P_743 Elevation 1:200



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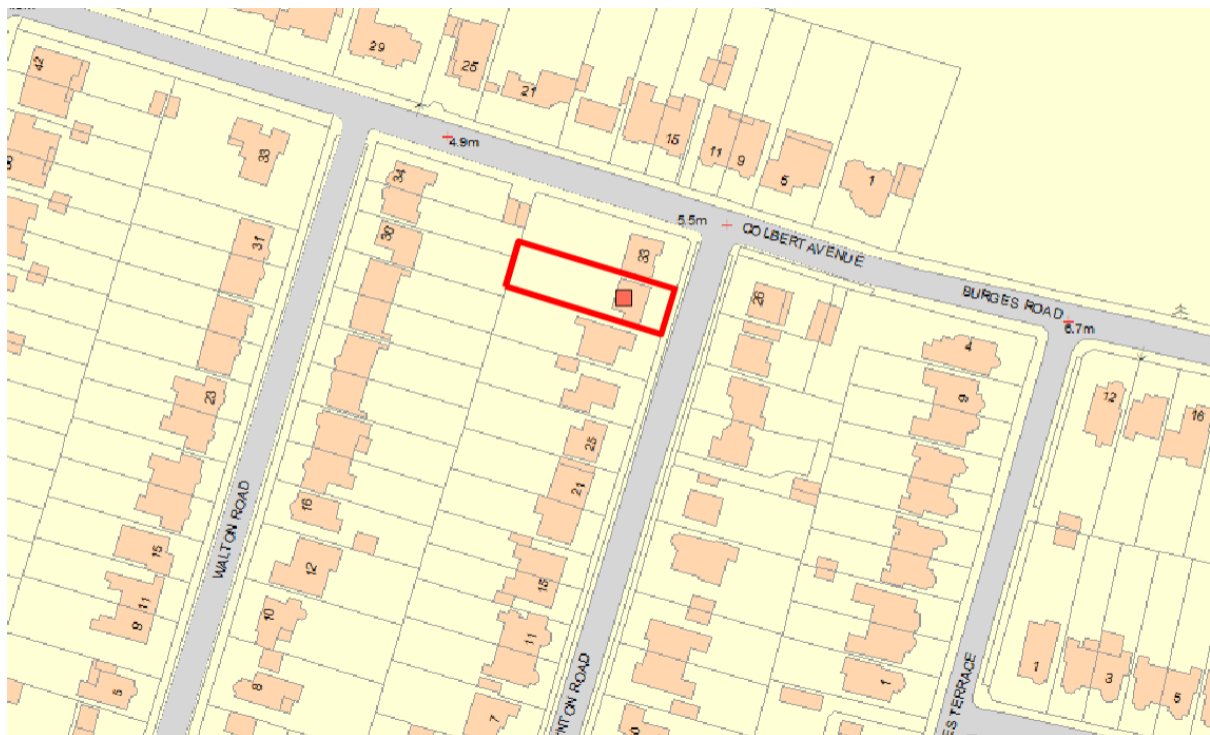
Drawing Status: **Planning Application**
 Project: **Friars Library Site**
 Drawing Title: **Nursery: Street Scene Elevation - North Elevation onto Passageway**

job no.	drawing no.	revision	stage
729	P_743	-	3
scale	size	drawn	date
1:200	A3	LW	9 December 2016

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Reference:	16/02271/FULH
Ward:	Thorpe
Proposal:	Demolish existing single storey rear extension and garage to side, raise ridge height with dormer to rear, erect two storey rear extension with juliette balcony at first floor, first floor front extension incorporating porch at ground floor, part single/part two storey side extension, outbuilding to rear, alter elevations, form outdoor swimming pool at rear, layout hardstanding to front and install vehicular access on to Lynton road (Amended Proposal)
Address:	31 Lynton Road, Thorpe Bay, Essex, SS1 3BE
Applicant:	Mr and Mrs McCoy
Agent:	Medusa Design
Consultation Expiry:	25.01.2017
Expiry Date:	16.02.107
Case Officer:	Janine Rowley
Plan Nos:	1530.16.01; 1530.16.02 Revision I; 1530.16.03 Revision K
Recommendation:	GRANT PLANNING PERMISSION

5



1 The Proposal

- 1.1 Planning permission is sought to demolish the existing single storey rear extension and garage to side, raise the existing ridge height and install a dormer to the rear. A two storey rear extension with juliette balcony is proposed at first floor, first floor front extension incorporating porch at ground floor, part single/part two storey side extension, outbuilding to rear, alterations to elevations, an outdoor swimming pool at rear, hardstanding to front and a vehicular access on to Lynton road 4.8m wide.
- 1.2 The existing ridge height of the dwelling is 8.1m and the proposal will increase the height to 8.3m (0.2m difference). The two storey side extension is 2.8m-3m high at single storey and 7.7m high at two storey x 2.7m wide at ground floor and 1.3m wide at first floor x 11.6m deep at single storey and 6.5m deep at first floor. The two storey rear extension is 8.4m wide x 4m deep x 8.3m high. The rear dormer is 2.2m high x 3.1m deep x 1.8m wide. The two storey front extension is 6.4m high x 2.9m wide x 0.7m deep. The outbuilding to the rear is 3m deep x 10.2m wide x 2.3m-2.7m high. The proposal also includes a vehicle access onto Lynton Road.

2 Site and Surroundings

- 2.1 This section of Lynton Road is quite mixed in character. All the houses are individual designs, but there are a number of reoccurring commonalities including general scale, detached form and a mix of gabled and hipped roofs consistent building line, and generally red/brown roof tiles.
- 2.2 The application property is a hipped roof property that has been previously extended to the side and rear at single storey. The proposal seeks to transform this into a much larger dwelling by erecting a two storey front, side and rear extension, extending to the side, raising the ridge.

3 Planning Considerations

- 3.1 The main considerations of this application are the principle of the development, design, traffic and transportation and impact on residential amenity, sustainable construction, CIL chargeable.

4 Appraisal

Principle of Development

National Planning Policy Framework; DPD1 (Core Strategy) Policies KP1, KP2 and CP4; Development Management DPD2 policies DM1, DM3, and the Design and Townscape Guide SPD1 (2009).

- 4.1 This proposal is considered in the context of the National Planning Policy Framework 2012. Core Strategy DPD1 policies KP2 and CP4 and policies DM1 and DM3 of the Development Management Document. These policies ensure that any development proposals ensure the existing character and appearance of the surrounding area are respected. No objections are raised in principle to extensions to this property subject to the material planning considerations discussed in detail below.

Design and Impact on the Streetscene

National Planning Policy Framework; DPD1 (Core Strategy) Policies KP2 and CP4; Development Management Plan DPD2 policy DM1 and the Design and Townscape Guide SPD1 (2009).

- 4.2 The existing site includes a two dwellinghouse with an overall height of 8.1m and it is proposed to increase the ridge height to 8.3m. The increase in height by 0.2m will appear higher than no. 33 to the north (7.7m) and in line with no. 29 to the south (8.39m). No objection is raised to the raised ridge height as it will not appear significantly higher than the existing properties within the streetscene.
- 4.3 Paragraph 351 of SPD1 states that *“side extensions should be designed to appear subservient to the parent building. This can generally be achieved by ensuring the extension is set back behind the existing building frontage line and that its design, in particular the roof, is fully integrated with the existing property. Poorly designed side extensions will detrimentally affect the proportions and character of the existing property and so extreme care should be taken to ensure the original design qualities are preserved. Setbacks can also alleviate the difficulty of keying new materials (particularly brickwork) into old and disguises slight variations.”*
- 4.4 Paragraph 352 of the Design and Townscape Guide SPD1 states:

“Where a terracing effect would be out of character, it is important to maintain a degree of separation between two neighbouring properties. This separation should be maintained at all levels - narrowing an extension at first floor level creates an unacceptable design and must be avoided. Extensions over one storey should be set off the boundary to provide an equivalent amount of contextual separation that reflects the prevailing local character and should always be continuous in their form”.
- 4.5 The proposed two storey side extension will be set 0.3m away from the site boundary at ground floor and 1.2m at first floor and is set back 0.4m from the front elevation. The roof form has been set down 0.7m from the existing ridge height, which is welcomed. The proposed two storey side extension by reason of its design and scale appears subservient to the existing dwelling maintaining separation between no. 29 to the south of the site in keeping with the prevailing local character. .
- 4.6 No objection is raised to the overall design and scale of the two storey rear extension or the dormer, which appears subservient to the roof proposed.
- 4.7 The proposed two storey front extension will be set in front of the existing building line, however taking into account the varying streetscene no objection is raised to the overall depth. The hipped roof design, eaves and fenestration alignment has a positive relationship with the existing dwelling.
- 4.8 The proposed outbuilding by design and scale is considered acceptable.

- 4.9 No objections are raised to the vehicle crossover in terms of its siting as the existing street tree will be maintained.
- 4.10 In light of the above, the proposed extensions and outbuilding by reason of their design and scale will be positive additions to the existing property and will not harm the overall character and appearance of the streetscene in accordance with the National Planning Policy Framework 2012, Policies KP2 and CP4 of the Core Strategy, Development Management DPD2 policy DM1 and advice contained within the adopted Design and Townscape Guide (SPD1).

Traffic and transportation

National Planning Policy Framework; DPD1 (Core Strategy) policies KP2, CP4, CP3; policy DM15 of the DPD2 (Development Management Document) and the Design and Townscape Guide SPD1.

- 4.11 The proposal will result in a replacement garage of 2m wide x 3.86m deep, although it is noted the intention is to use the area for cycle/bin storage and provide off street parking to the front of the site. Given the existing garage is already below current standards, and the proposal will not change this situation, no objection is raised on parking grounds. The proposed vehicle crossover is 4.8m wide, which is policy compliant.

Impact on residential amenity

National Planning Policy Framework, Development Management DPD2 policy DM1, Core Strategy Policies KP2 and CP4, Development Management Document DPD2 policy DM1 and the Design and Townscape Guide (SPD1)

- 4.12 Policy DM1 of the Development Management Document states that any new development should protect the amenity of the site, immediate neighbours, and surrounding area, having regard to privacy, overlooking, outlook, noise and disturbance, visual enclosure, pollution, and daylight and sunlight. Paragraph 343 of SPD1 (under the heading of Alterations and Additions to Existing Residential Buildings) states, amongst other criteria, that extensions must respect the amenity of neighbouring buildings and ensure not to adversely affect light, outlook or privacy of the habitable rooms in adjacent properties.
- 4.13 It is not considered the raised ridge height will result in a detrimental impact on the amenities of no. 29 to the south and no. 33 to the north in terms of being overbearing or resulting in loss light given the overall increase of 0.2m.
- 4.14 With respect to light and potential of overbearing on the existing amenities enjoyed by occupier at no. 29, the proposed two storey side extension will be set 0.3m from the boundary line at single storey and 1.2m at first floor level. Following a site visit to no. 29 Lynton Road, there are two windows to the flank elevation that serve an existing kitchen at ground floor, however the windows are secondary as the kitchen is also served by a window and door to the rear elevation. Windows at first floor serve a landing and bathroom, which are not habitable rooms and not afforded protection.

Whilst the side extension will have some impact on the amenities of no. 29, it is not considered that the impact would not be so great to result in material harm. Taking into account the siting of the two storey rear extension 4.3m away and given the extension is to the north of no. 29 it is not considered the proposal will result in demonstrable loss of light or overshadowing.

- 4.15 With respect to the two storey rear extension, the extension will be set 2m away from the flank elevation of no. 33 to the north of the site. The two storey extension will project 4m beyond the existing rear wall and complies with the notional 45 degree rule. Whilst the development will have some material impact on the amenities of no. 33 taking into account the separation distance and orientation of the property no objection is raised.
- 4.16 In relation to the overlooking and loss of privacy, windows are proposed to the flank elevations however, these can be dealt with by condition if the application is deemed acceptable to be obscure glazed.
- 4.17 The proposed outbuilding will be sited 0.7m away from the rear boundary and will have an overall height of 2.4m to 2.8m. Given the overall separation distance to the rear of properties in Walton Road no objection is raised.

Community Infrastructure Levy (CIL) Charging Schedule.

- 4.18 This application is CIL liable and the applicant has applied for a self-build exemption.

5 Planning Policy Summary

- 5.1 National Planning Policy Framework 2012
- 5.2 Development Plan Document 1: Core Strategy Policies KP1 (Spatial Strategy), KP2 (Development Principles), CP3 (Transport and Accessibility), CP4 (The Environment and Urban Renaissance)
- 5.3 Development Plan Document 2: Development Management Document Policies DM1 (Design Quality), DM3 (The Efficient and effective use of land), DM8 (Residential Standards). DM15 (Sustainable Transport Management)
- 5.4 SPD1 Design & Townscape Guide 2009

6 Representation Summary

Design and Regeneration

- 6.1 No objections.

Traffic and Transportation

6.2 No objections.

Public Consultation

6.3 8 neighbours notified of the proposal and 5 letters of representation has been received objecting to the proposal stating:

- The planned building will create too big of a footprint on the streetscene due to its overall bulk;
- Reduce daylight into two principle windows of no. 29 Lynton Road;
- Overbearing impact on occupiers of no. 29 Lynton Road
- Will impact on rights to light [**Officer Comment: This is not a material planning consideration but a civil matter**];
- Not in keeping with existing styles in the streetscene;
- The road also has restrictive covenants that apply to all properties in the road [**Officer Comment: This is not a material planning consideration but a civil matter**];
- 3 storey scaffolding has been installed and restrictions should be in place for building works

7 Relevant Planning History

7.1 Demolish existing single storey rear extension, erect two storey rear extension with juliette balcony at first floor, first floor front extension incorporating porch, part single/part first floor side extension, outbuilding to rear, install external swimming pool, layout hardstanding, form vehicular access on to Lynton Road and alter elevations- 16/02092/PREAPF

7.2 Demolish existing single storey rear extension and garage to side, raise ridge height, erect two storey rear extension with juliette balcony at first floor, first floor front extension incorporating porch at ground floor, part single/part two storey side extension, outbuilding to rear, alter elevations, form outdoor swimming pool at rear, layout hardstanding to front and install vehicular access on to Lynton road- Withdrawn (16/01556/FULH)

8 Recommendation

8.1 **Members are recommended to GRANT PLANNING PERMISSION subject to the following conditions:**

1 **The development hereby permitted shall begin not later than three years from the date of this decision.**

Reason: Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990.

2 **The development hereby permitted shall be carried out in accordance with the following approved plans: 1530.16.01; 1530.16.02 Revision I; 1530.16.03 Revision K.**

Reason: To ensure that the development is carried out in accordance with the provisions of the Development Plan.

- 3** All new work to the outside of the building must match existing original work in terms of the choice of materials including render, roof tiles and method of construction and finished appearance. This applies unless differences are shown on the drawings hereby approved or are required by conditions to this permission.

Reason: In the interests of visual amenity to ensure that the appearance of the building makes a positive contribution to the character and appearance of the area. This is set out in National Planning Policy Framework, DPD1 (Core Strategy) 2007 policy KP2 and CP4, DPD2 (Development Management Document) policy DM1, and SPD1 (Design and Townscape Guide).

Informative

- 1** Please note that the development the subject of this application is liable for a charge under the Community Infrastructure Levy Regulations 2010 (as amended). Enclosed with this decision notice is a Community Infrastructure Levy (CIL) Liability Notice for the attention of the applicant and any person who has an interest in the land. This contains details including the chargeable amount, when this is payable and when and how exemption or relief on the charge can be sought. You are advised that a CIL Commencement Notice (CIL Form 6) must be received by the Council at least one day before commencement of development. Receipt of this notice will be acknowledged by the Council. Please ensure that you have received both a CIL Liability Notice and acknowledgement of your CIL Commencement Notice before development is commenced. Most claims for CIL relief or exemption must be sought from and approved by the Council prior to commencement of the development. Charges and surcharges may apply, and exemption or relief could be withdrawn if you fail to meet statutory requirements relating to CIL. Further details on CIL matters can be found on the Council's website at www.southend.gov.uk/cil.
-

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.

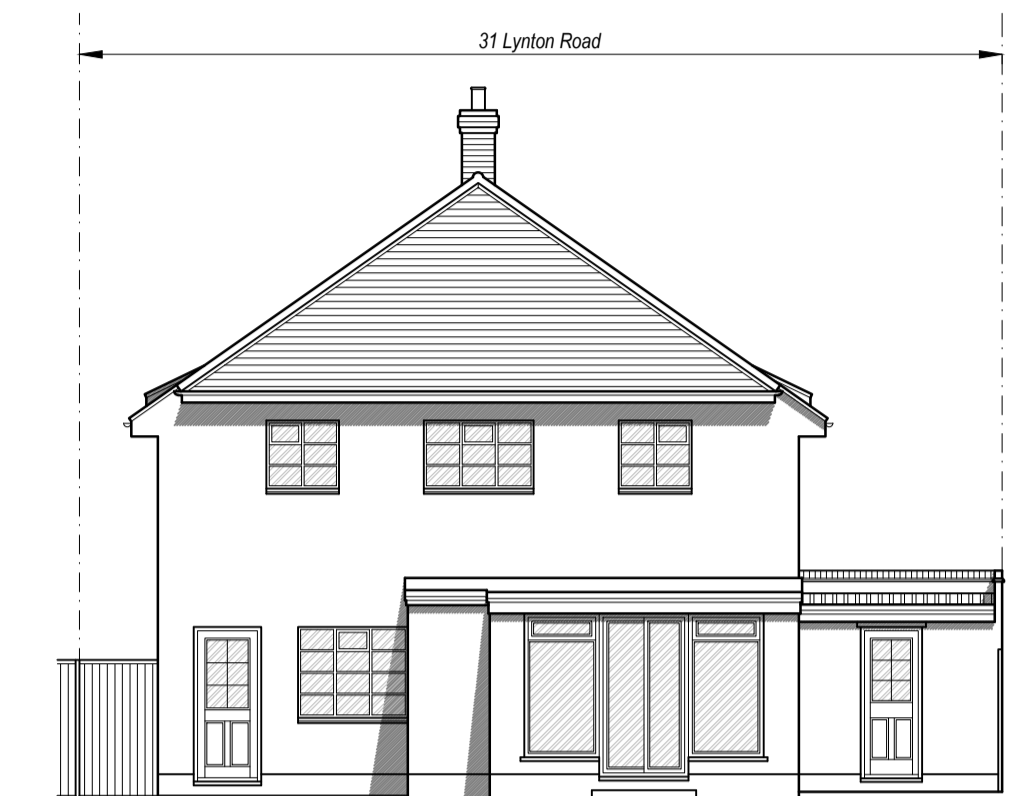
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Front Elevation



Side Elevation

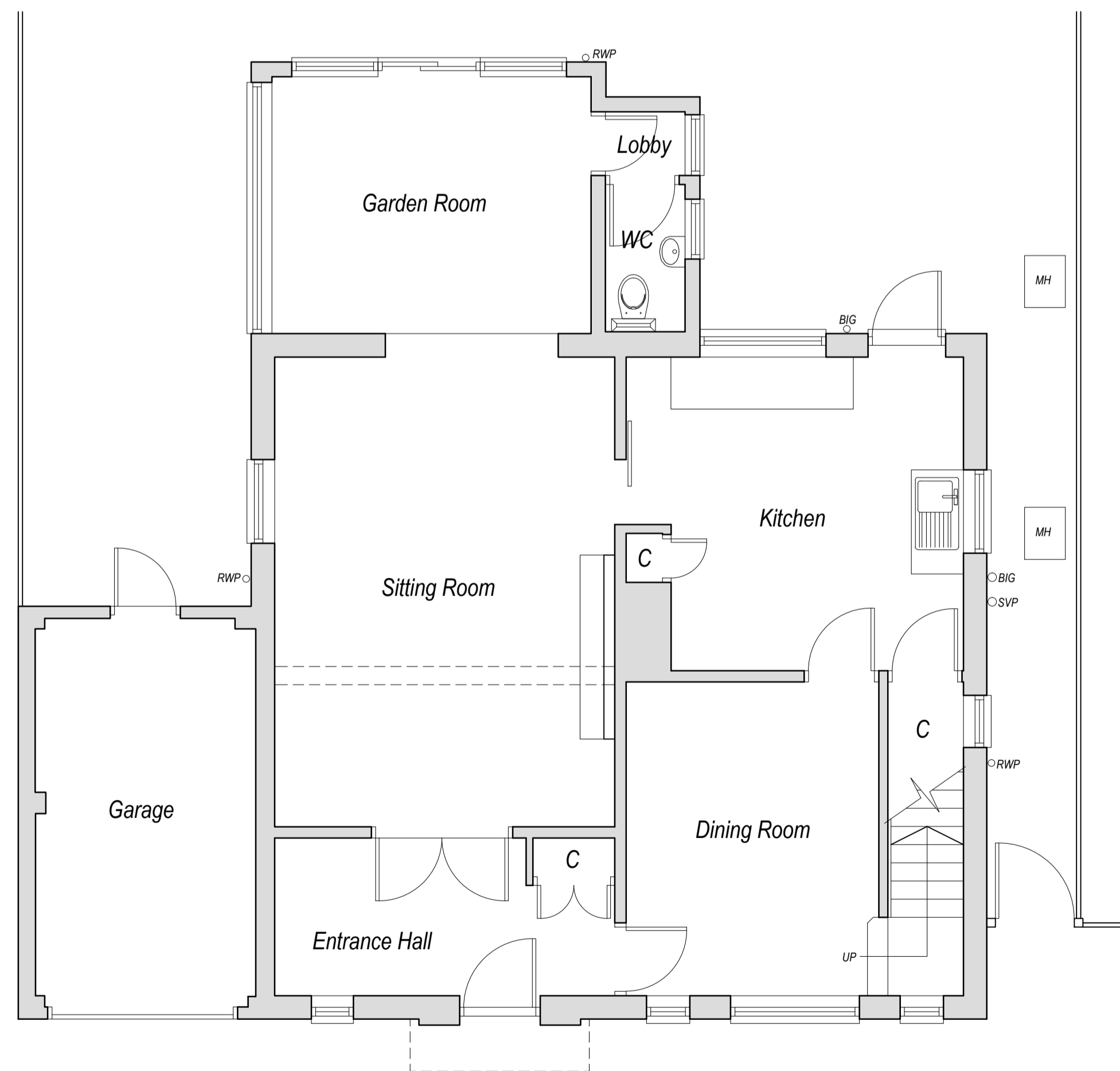
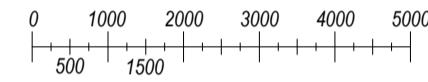


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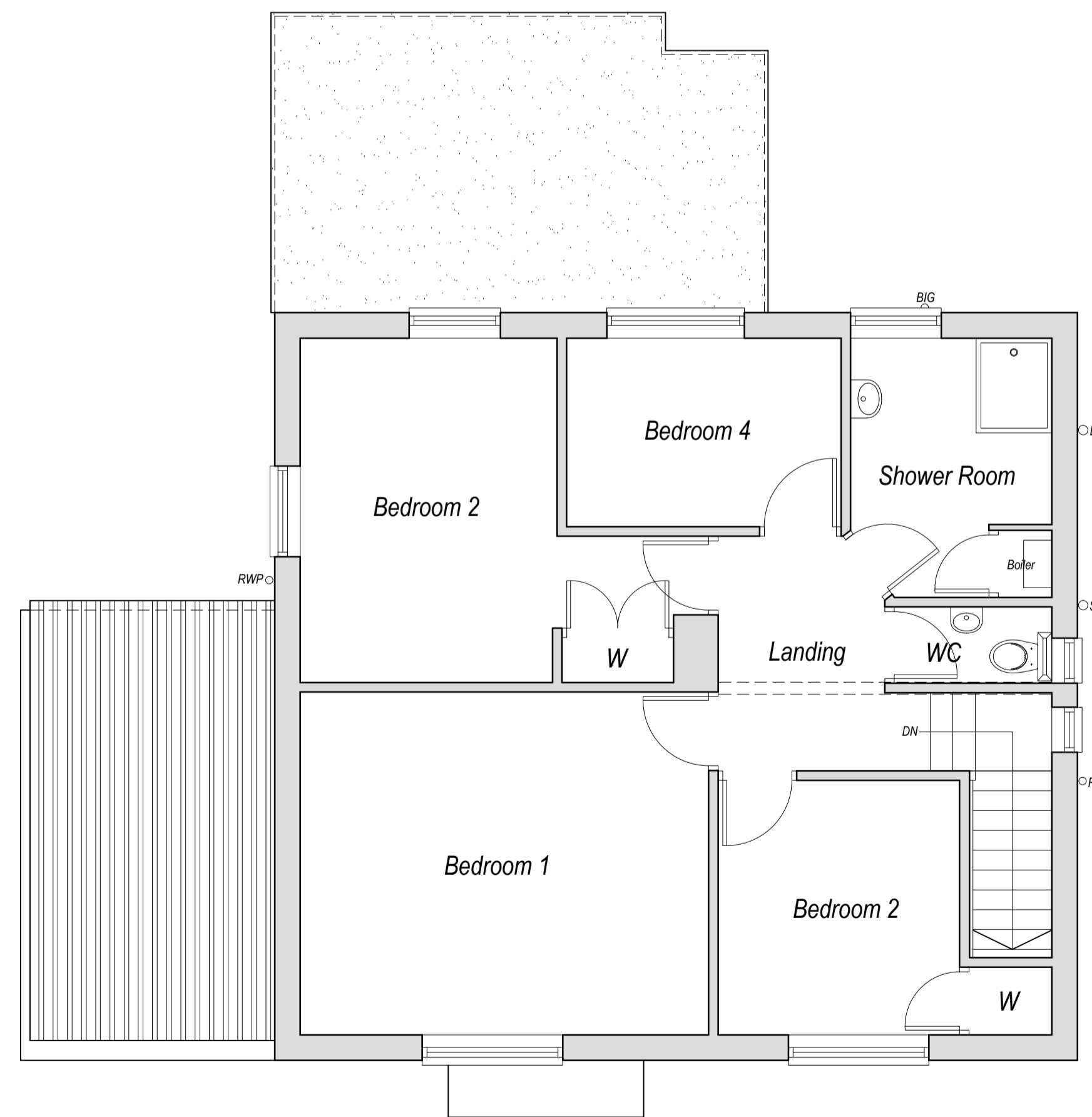
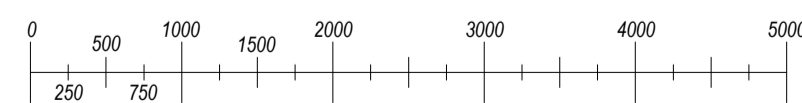


Side Elevation

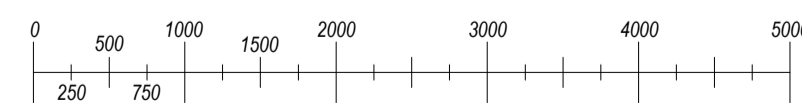
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Existing Ground Floor Plan
Scale: 1:50



Existing First Floor Plan
Scale: 1:50



Status: **Planning**

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Mr & Mrs McCoy

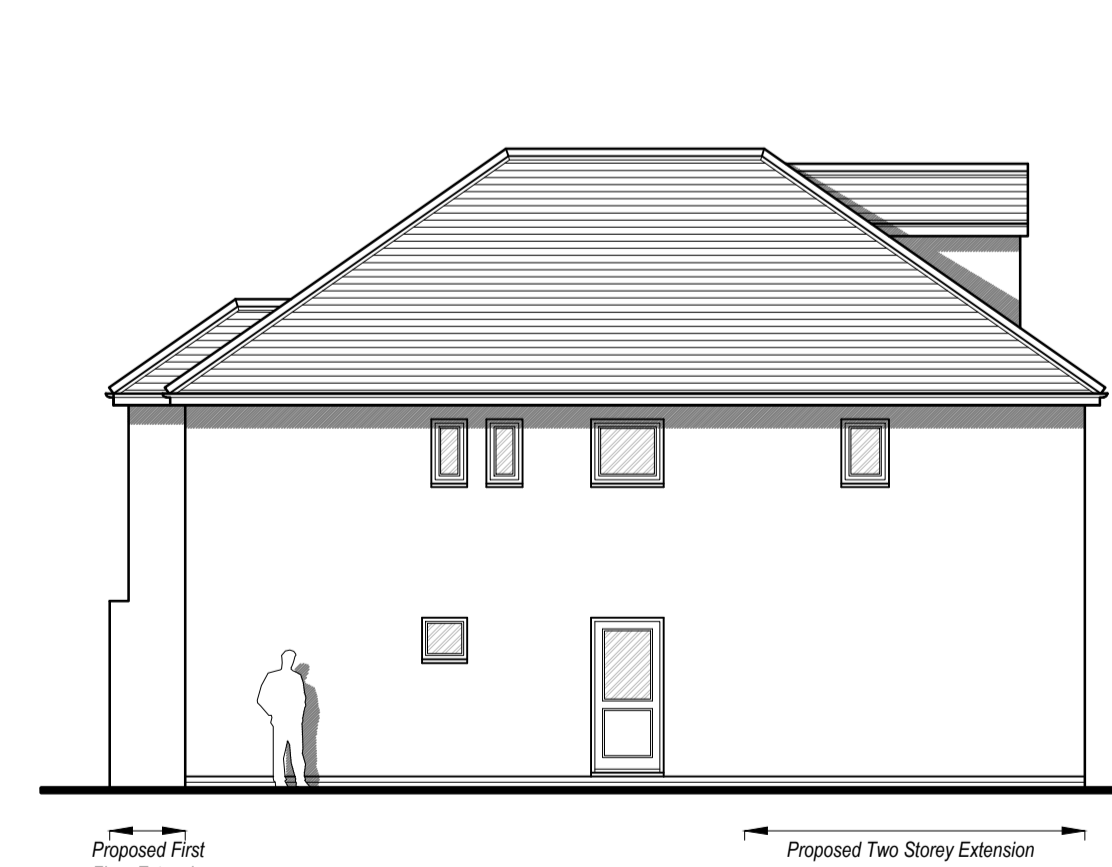
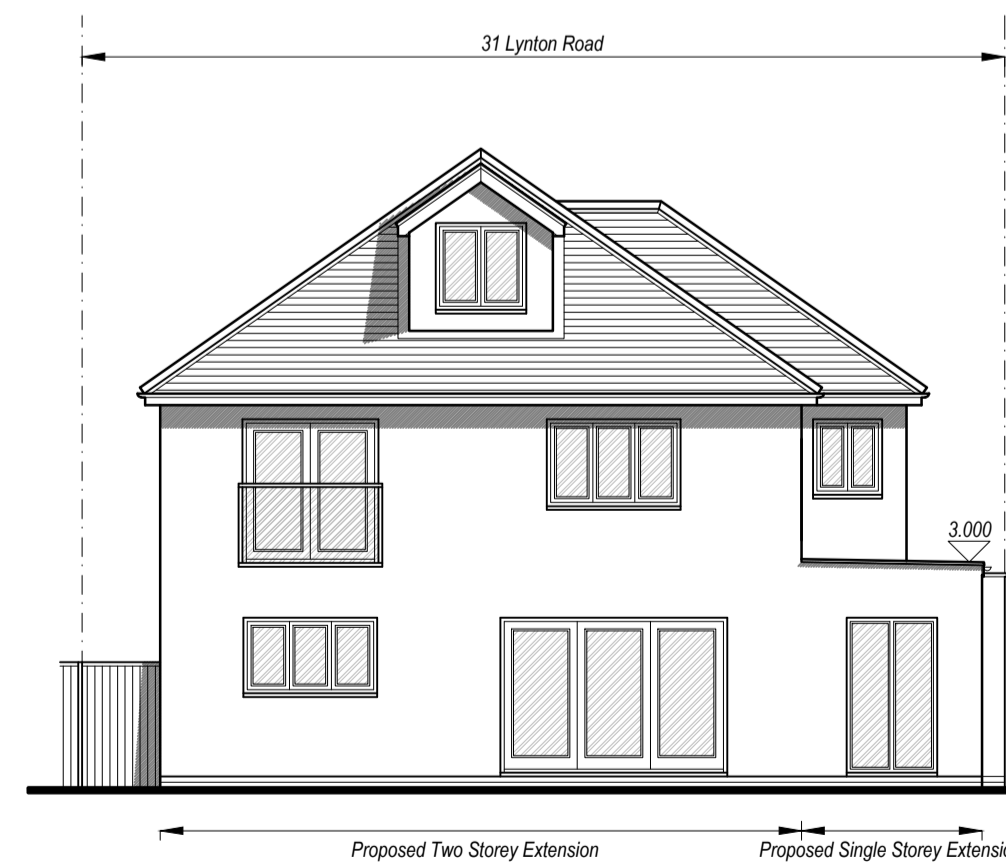
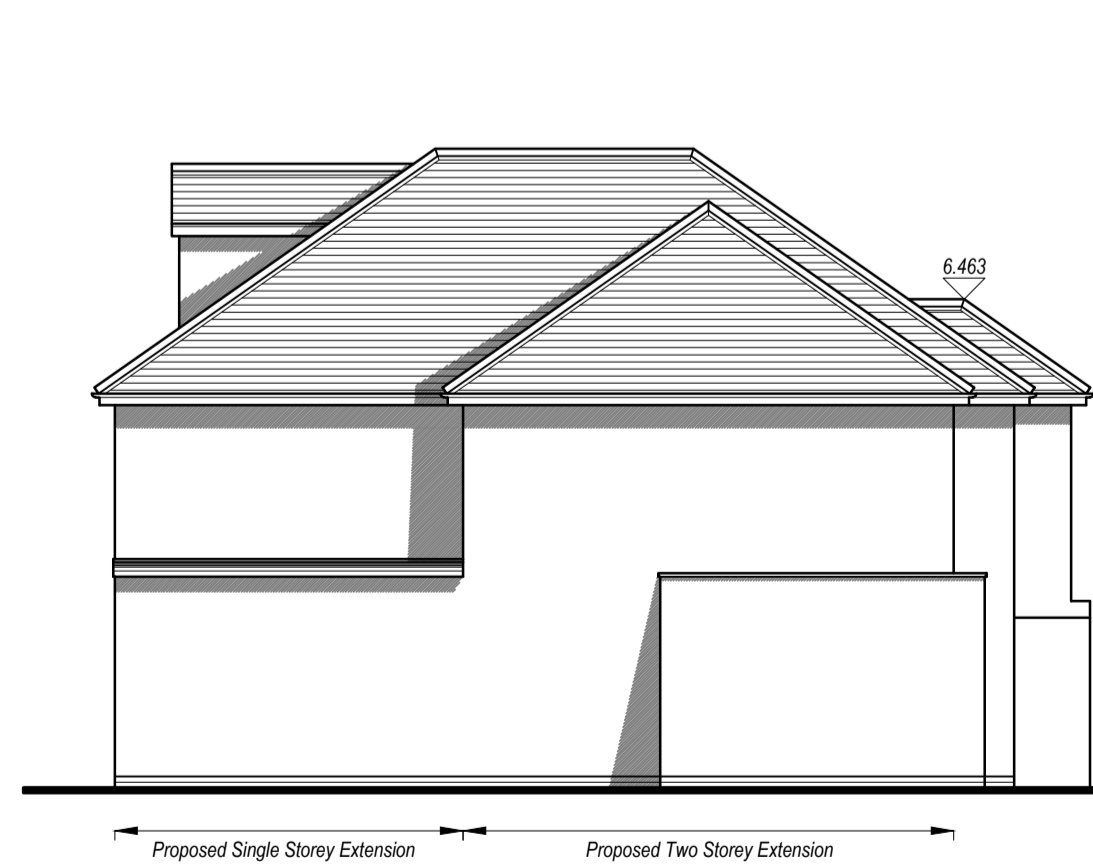
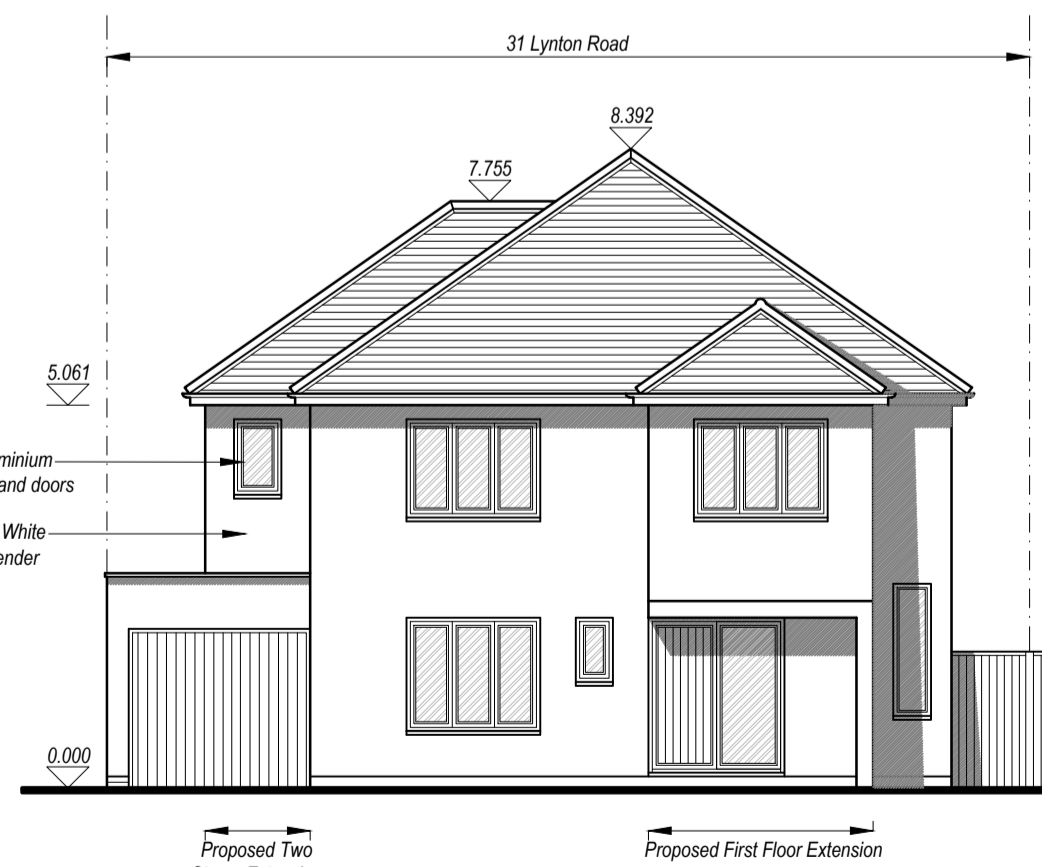
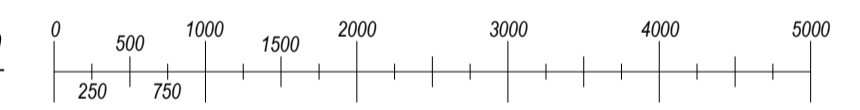
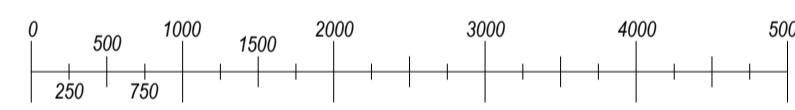
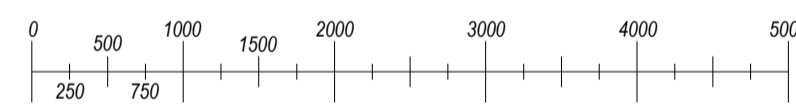
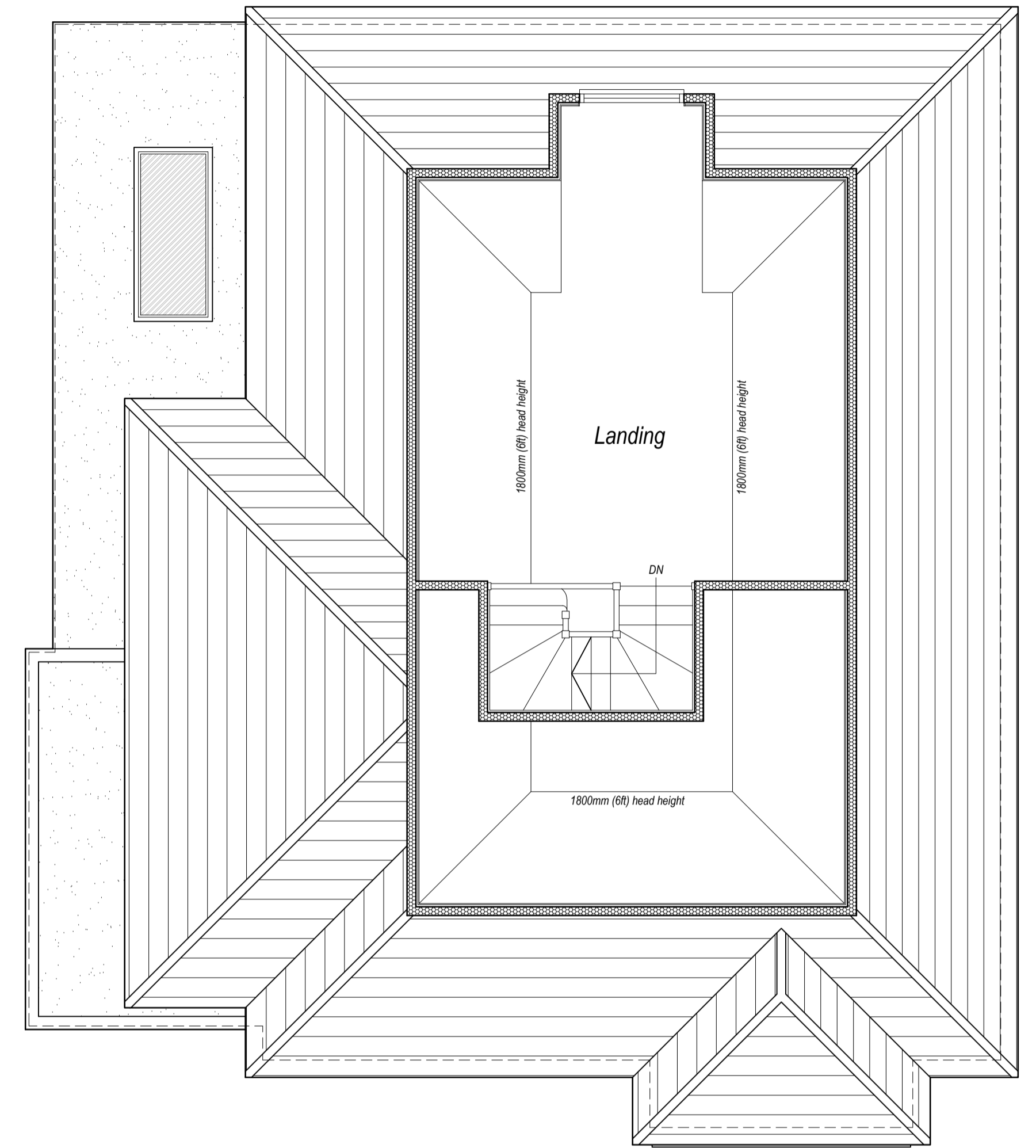
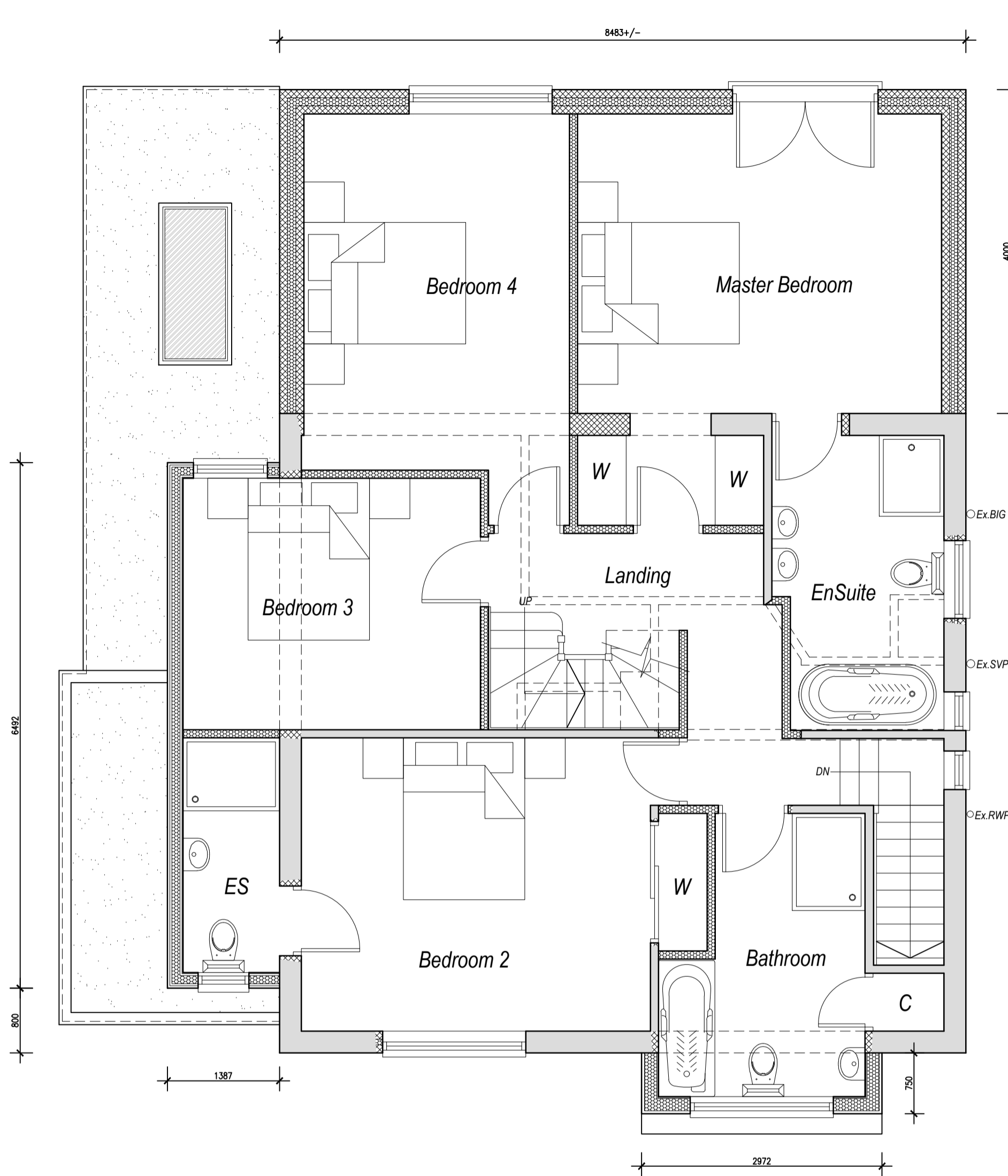
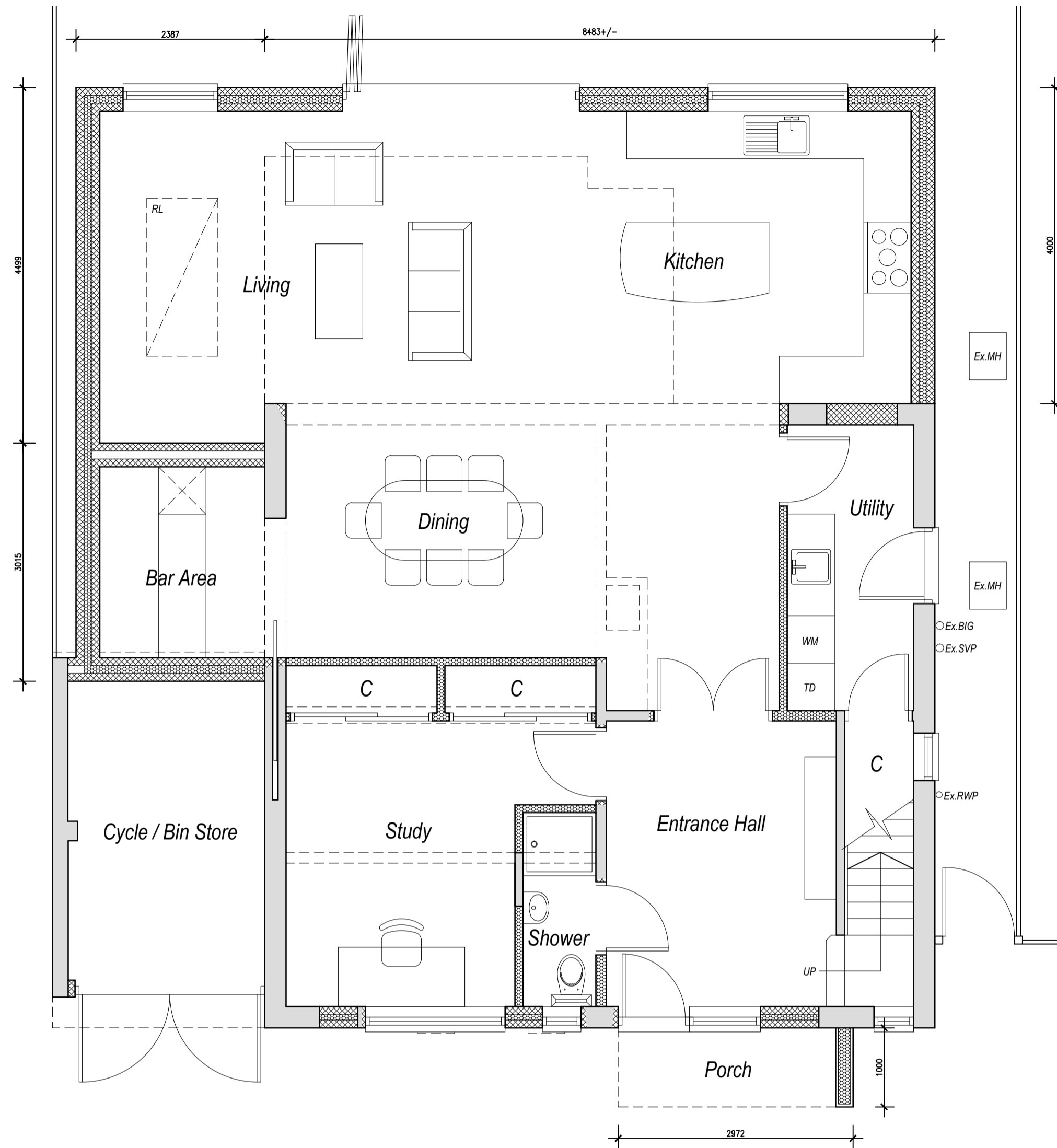
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31 Lynton Road, Southend-On-Sea,
Essex, SS1 3BE**

Drawing Details:
Existing Floor Plans And Elevations

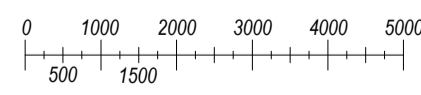
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1530/16/01	---

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Proposed Elevations
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Rev I: 19.12.2016 - Amended To Planners Comments
Rev H: 08.12.2016 - Amended To Planners Comments

Status: **Planning**

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Client: **Mr & Mrs McCoy**

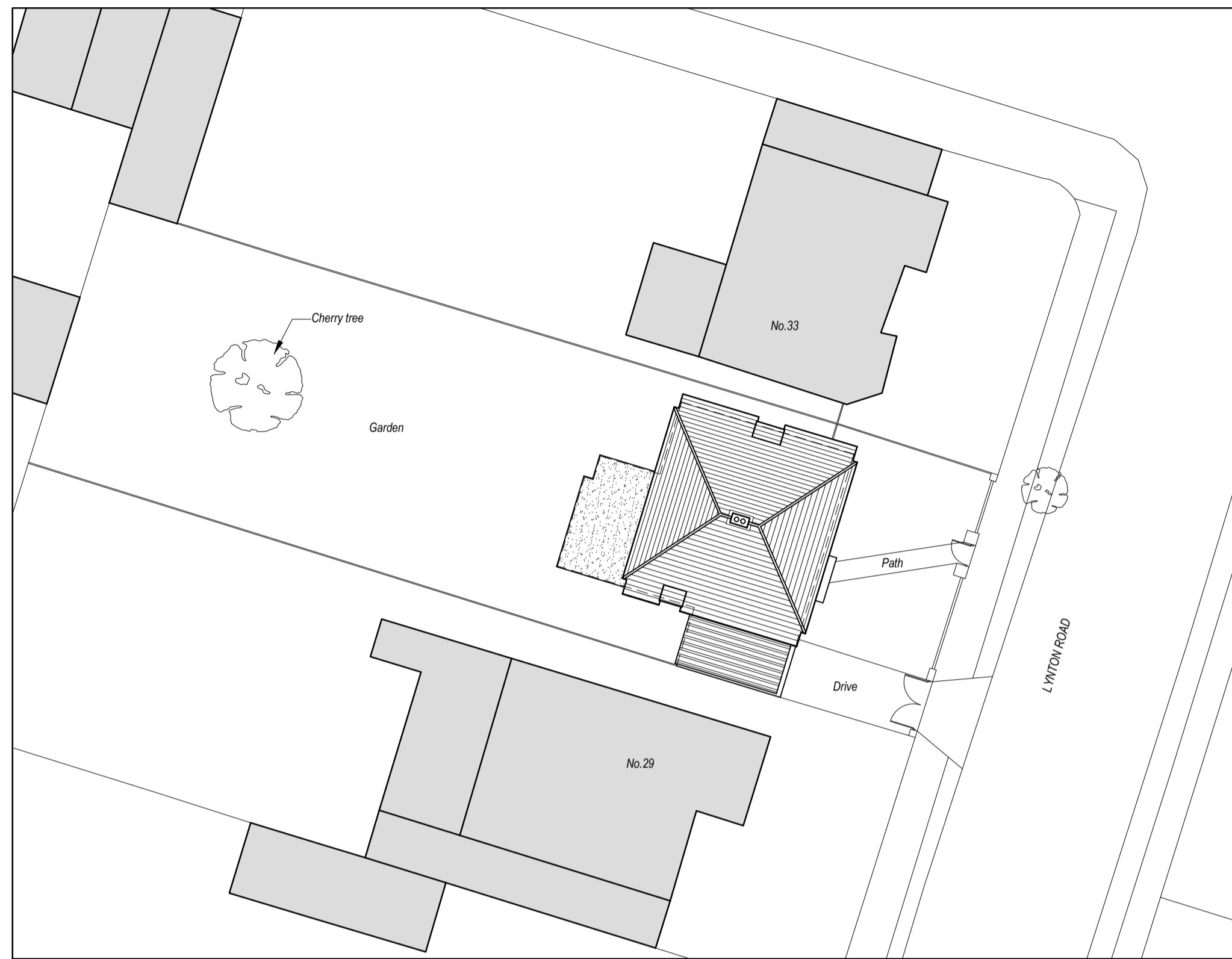
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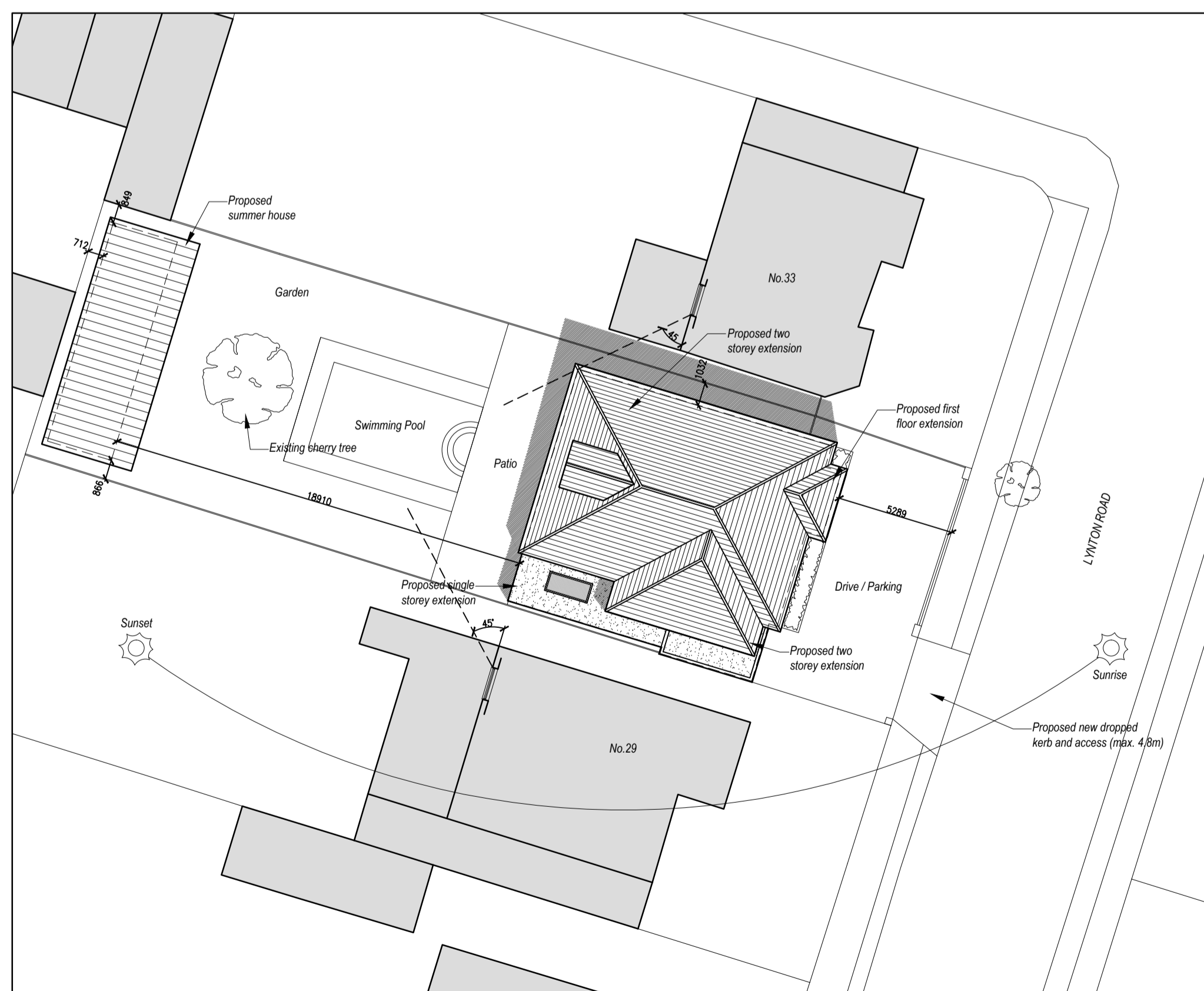
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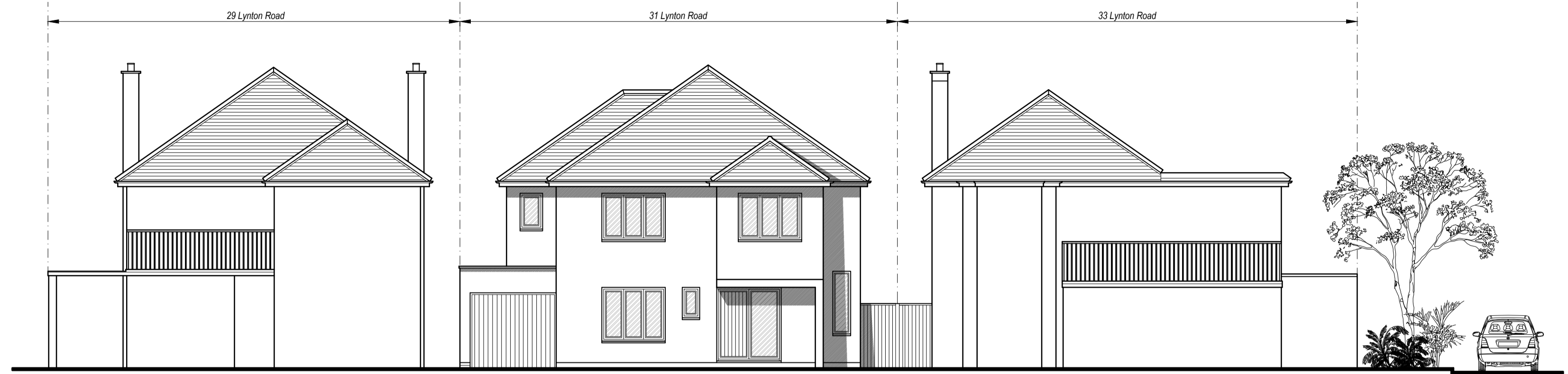


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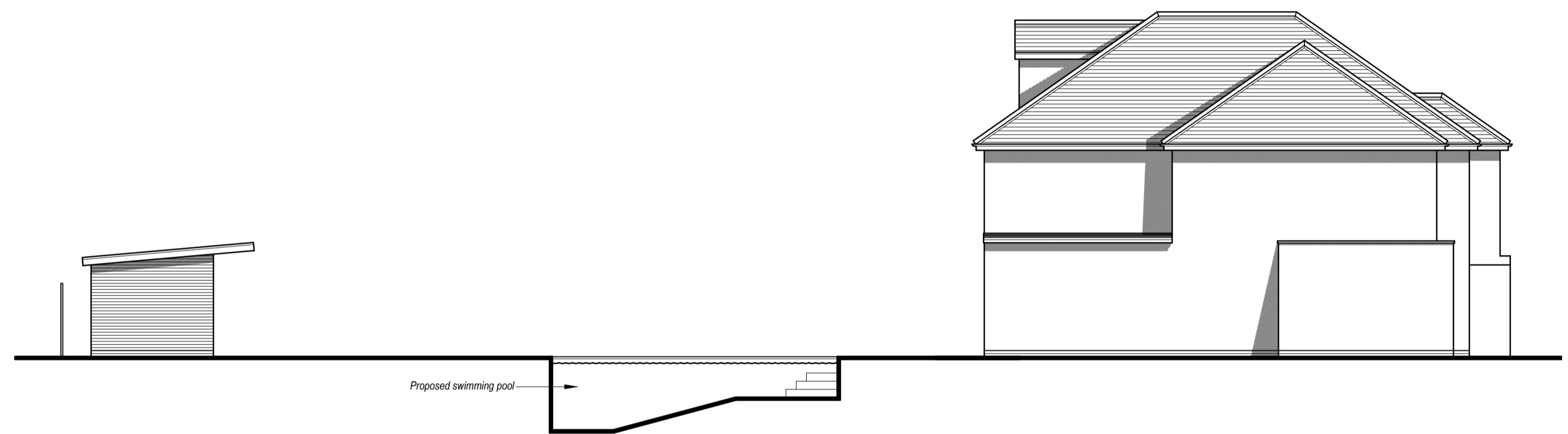
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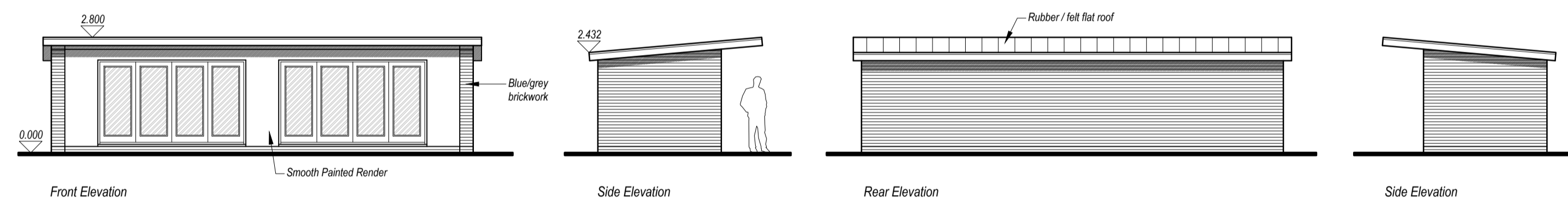
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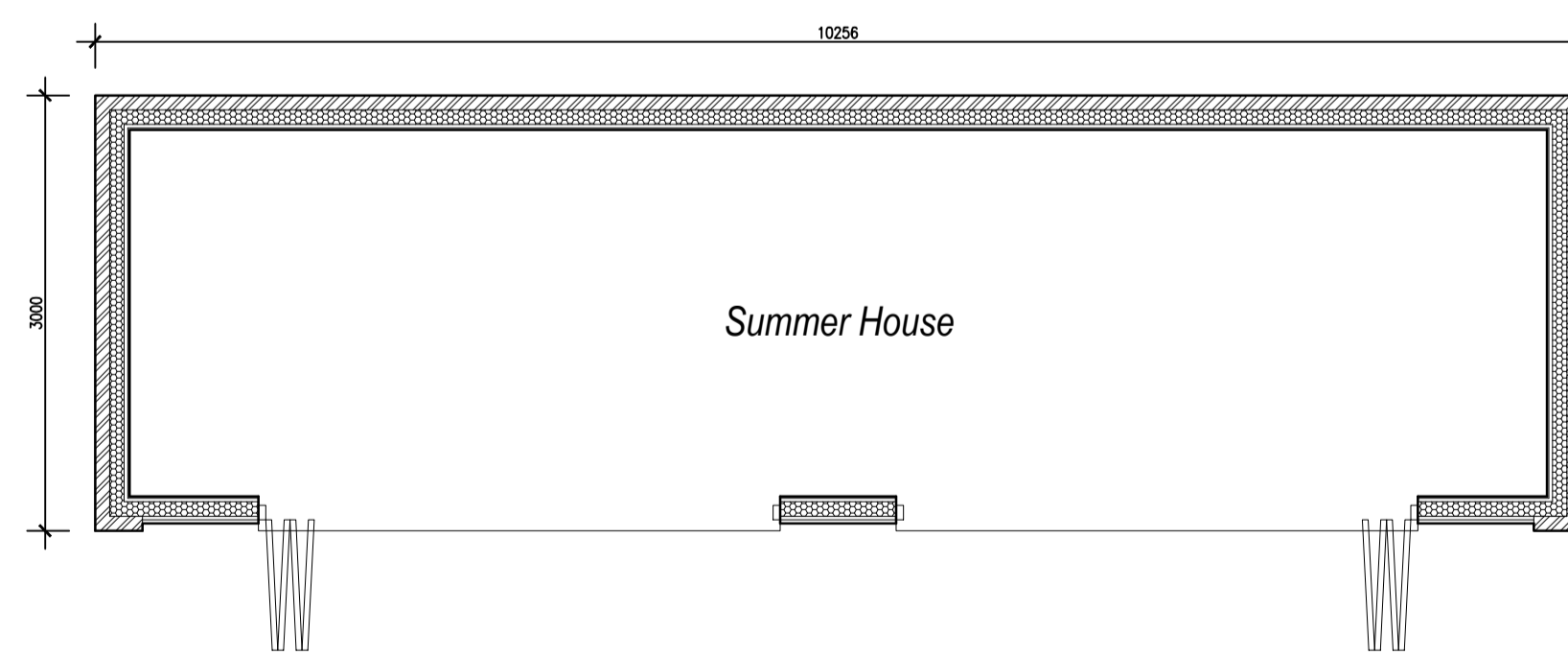
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Proposed Section
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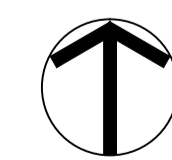
Proposed Elevations
Scale: 1:100



Proposed Floor Plan
Scale: 1:50



Location Plan
Scale: 1:1250



Rev K: 30.01.2017 - Amended To Planners Comments

Status: **Planning**



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Project:
**Proposed Extensions And Alterations To
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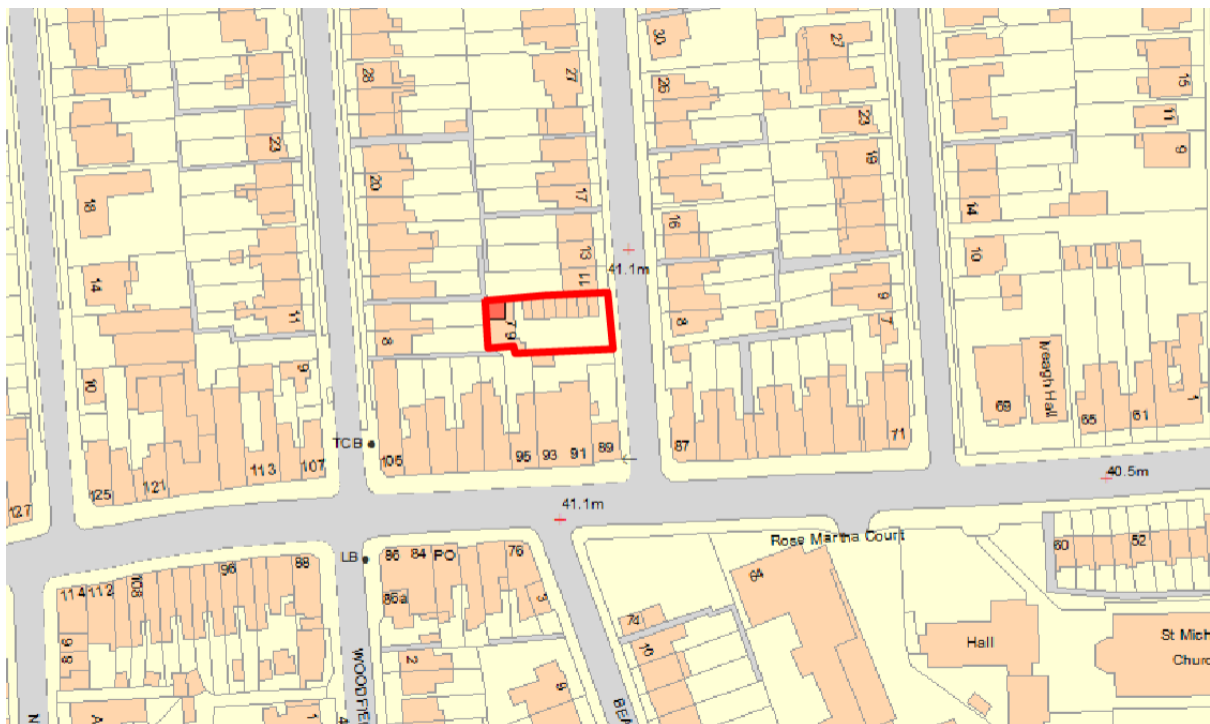
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Floor Plan, Elevations And Location Plan**

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And 1:1250 @A1** Drawn: **MJM**

Number: **1530/16/03** Rev: **K**

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Reference:	16/02213/FUL	6
Ward:	Chalkwell	
Proposal:	Demolish existing buildings and erect two semi-detached dwellinghouses with roof extension's and pergola's to rear, layout parking, hard and soft landscaping (Amended Proposal)	
Address:	7 - 9 Lansdowne Avenue, Leigh-on-Sea, SS9 1LJ	
Applicant:	Mr G. Hutchinson	
Agent:	Mr S. Milne, The Livemore House	
Consultation Expiry:	10/01/17	
Expiry Date:	07/02/17	
Case Officer:	Ian Harrison	
Plan numbers:	15015-01(B) (Dated 12/12/16), 15015-04 (B) (Dated 12/12/16) and 15015-05 (B) (Dated 15/12/16)	
Recommendation:	Grant Planning Permission	



1 The Proposal

- 1.1 Planning permission is sought to demolish the existing buildings and to erect two semi-detached dwellinghouses with hard and soft landscaping.
- 1.2 The proposed dwellings would each measure 5.8 metres wide and 8.99 metres deep, with two storey bay projections at the front that would measure 2.8 metres wide and 0.5 metres deep. The dwellings would feature pitches roofs built to an eaves height of 6.1 metres and ridge heights of 9.1 metres. Each dwelling would have rooflights to the front and a flat roof dormer window to the rear. The dwelling to the south would be set back 3.4 metres further to the west than the dwelling to the north which would align with the terraced properties to the north.
- 1.3 The proposed dwellinghouses will each have three bedrooms (5 bed spaces), an internal floorspace of 111sq.m, and private amenity spaces of 95 and 73 square metres respectively.
- 1.4 Two car parking spaces are proposed at the frontage of the site.
- 1.5 The proposed dwellinghouses will be finished in brick and render to match the surrounding area (details have not been specified), interlocking roof tiles, UPVC windows and UPVC windows and aluminium doors. The rear gardens will have timber fence panels and front boundary brick walls and piers.
- 1.6 This application follows the refusal of application 16/01350/FUL which proposed two dwellings and was refused for the following reason:

“The proposed development, by reason of lack of parking provision will result in additional on street parking to the detriment of highway safety and efficiency and is indicative of an overdevelopment of the site, contrary to National Planning Policy Framework, policies KP2, CP3 and CP4 of the Southend-on-Sea Core Strategy, policy DM15 of DPD2 and guidance contained within the SPD1 (Design and Townscape Guide).”

2 Site and Surroundings

- 2.1 The site is located on the western side of Lansdowne Avenue, approximately 30m to the north of its junction with Leigh Road.
- 2.2 The site is currently occupied by Chalkwell Park Motors, a car sales, servicing and repairs business.
- 2.3 Lansdowne Avenue is a residential side street which runs between London Road and Leigh Road. Lansdowne Avenue is predominantly characterised by two storey terrace dwellinghouses.

3 Planning Considerations

- 3.1 The main considerations in the determination of this application are in relation to the principle of the development, design and impact on the streetscene and impact on neighbouring occupiers, standard of accommodation for future occupiers, sustainable construction, developer contributions and parking and highway impacts.

4 Appraisal

Principle of Development

National Planning Policy Framework; DPD1 (Core Strategy) Policies KP2, CP1, CP4, CP8; Development Management Document Policies DM1, DM3, DM11 and the Design and Townscape Guide SPD1 (2009)

- 4.1 The site is currently occupied by a Chalkwell Park Motors which is a car sales, servicing and repairs business. Policy DM11 of the Development Management Document relates to employment. Section 5 of Policy DM11 states;

“Outside the Employment Areas (Policy Table 8), proposals for alternative uses on sites used (or last used) for employment purposes, including sites for sui-generis uses of an employment nature, will only be permitted where it can be demonstrated that:

*(i) It will no longer be effective or viable to accommodate the continued use of the site for employment purposes***; or*

(ii) Use of the site for B2 or B8 purposes gives rise to unacceptable environmental problems.

It will need to be demonstrated that an alternative use or mix of uses will give greater potential benefits to the community and environment than continued employment use.

**** Appendix 4 Part C sets out the information to be provided as part of this appraisal.”*

- 4.2 Policy CP1 of the Core Strategy seeks to resist planning permission for proposals which would involve the loss of existing employment land unless it will contribute significantly to the objective of regeneration of the economy in other ways, including significant enhancement of the environment, amenity and condition of the local area.
- 4.3 Policy CP8 of the Core Strategy identifies that 6500 dwellings will be provided within the Borough over the plan period and that 2550 of those dwellings should be provided through the intensification of the use of land. The policy also identifies that 80% of residential development should occur on previously developed land, such as the application site. The effective and efficient use of the land is also encouraged by Policy DM3 of the Development Management Document.

4.4 A letter from the owner of the site has been received and forms part of the application. This details that Chalkwell Park Motors moved into the site in 2003. At that time parking along Lansdowne Avenue was relatively easy but since then this has changed and the road has become busier and more congested which has made running a business from the premises very difficult. The applicant states that he intends to move the business elsewhere in the Borough.

4.5 Policy DM3 (section 2) of the Development Management Document states:

“All development on land that constitutes backland and infill development will be considered on a site-by-site basis. Development within these locations will be resisted where the proposals:

- (i) Create a detrimental impact upon the living conditions and amenity of existing and future residents or neighbouring residents; or*
- (ii) Conflict with the character and grain of the local area; or*
- (iii) Result in unusable garden space for the existing and proposed dwellings in line with Policy DM8; or*
- (iv) Result in the loss of local ecological assets including wildlife habitats and significant or protected trees.”*

4.6 The above points will be addressed in more detail set out in the report below.

4.7 Whilst no details in respect of employment figures have been set out in the application, the business could relocate to elsewhere within the borough. It is likely that the existing business use would give rise to noise and traffic movements which would be reduced as a result of the proposed development. It is considered that the provision of two new family size dwellinghouses would outweigh the principle of the loss of employment at the site in this instance.

4.8 It is acknowledged that the site is within a residential area surrounded by dwellinghouses and the existing use is out of character with the residential nature of the street. The proposed residential use is considered to conform to the local area which is predominantly residential and will improve the appearance of the site.

4.9 Therefore, in this instance, no objection is raised to the principle of residential development subject to each of the considerations detailed below being satisfactorily addressed. This is consistent with the conclusion that was recently reached in relation to residential development at this site under the terms of application 16/01350/FUL.

Design and Impact on the Streetscene

National Planning Policy Framework; DPD1 (Core Strategy) Policies KP2, CP4; Development Management Document Policies DM1 and DM3 and the Design and Townscape Guide SPD1 (2009)

4.10 The proposal is considered in the context of the Borough Council policies relating to design including Core Strategy DPD Policy KP2 and CP4, Development Management Document Policies DM1 (Design Quality) and DM3 (The Efficient and Effective Use of Land) and the Design and Townscape Guide.

These policies require that new development respects the existing character and appearance of the building and the townscape and reinforce local distinctiveness.

- 4.11 Policy CP4 of the Core Strategy seeks development which contributes to the creation of a high quality, sustainable urban environment which enhances and complements the natural and built assets of Southend through maintaining and enhancing the amenities, appeal and character of residential areas, securing good relationships with existing development, and respecting the nature and scale of that development.
- 4.12 Policy DM1 details that all new development to reinforce local distinctiveness should add to the overall quality of the area and respect the character of the site, its local context and surroundings in terms of its architectural approach, height, size, scale, form, massing, density, layout, proportions, materials, townscape and/or landscape setting, use and detailed design features.
- 4.13 Overall the redevelopment of the site is welcomed as the existing buildings do little to enhance the character and appearance of the area. Lansdowne Avenue is predominantly characterised by two storey traditional dwellinghouses, most built as semi-detached properties or short terraces. There is some variation in design detail but overall the street has a cohesive character which includes many common features such as a regular rhythm of well detailed two storey bay windows with gable tops and well detailed porches of various designs. The houses are all of a consistent scale with matching eaves and ridge heights, gabled roofs and are set on a consistent building line close to the street with short front gardens. Overall this is an attractive street with a strong character.
- 4.14 The proposal has chosen to replicate the form and character of the street by building a pair of traditionally designed semi-detached houses. The proposed houses will pick up on the scale of neighbouring properties picking up on the eaves, ridge and roof pitches, referencing the plot width of the area and including a number of key features such as double height bays and rain porches. Unlike the previous proposal at this site, the proposed developments would not have a consistent building line as the southernmost dwelling has been set back from the established building line by 3.4 metres to enable the provision of two parking spaces, to address the reason for the refusal of the previous application at this site (which had no parking spaces).
- 4.15 The design in general is considered to be acceptable however, for this infill to be fully integrated into the streetscene it would be beneficial to include an element of decoration as found on the neighbouring properties, particularly in relation to the pillars of the bay which are generally decorative and which enrich the streetscene. It is also considered that the windows to the front should be sash mechanism so that they appear authentic to the chosen design approach. Further details in respect of detailing to the bay pillars and window design has been required by condition. A low wall is proposed to the frontage which again references the streetscene and is welcomed although details of the landscaping will need to be agreed by condition.

- 4.16 To the rear the design is fairly simple and includes box dormers within the rear roof slope although these are reasonably scaled in this context.
- 4.17 There is a strong character in the street where the building line is forward and consistent; in the consideration of the previous application it was considered that the provision of a setback to enable parking on the frontage was not ideal in respect of the streetscene. This remains the case, but given the deemed necessity of parking provision at the site, it is considered that, on balance, the visual impact of the staggered building line can be found acceptable.
- 4.18 Therefore, in light of the above, it is considered that the proposed design, subject to the conditions set out below, would be acceptable and satisfies policies KP2, CP4, DM1 and DM3 in respect of design and impact on the streetscene.

Impact on Neighbouring Occupiers

National Planning Policy Framework; DPD1 (Core Strategy) Policies KP2 and CP4; Development Management Document Policies DM1 and DM3, and the Design and Townscape Guide SPD1

- 4.19 The proposal is considered in the context of Policy CP4 of the Core Strategy (DPD1) which requires all development within residential streets to be appropriate in its setting by respecting neighbouring development, existing residential amenities and overall character of the locality.
- 4.20 Policy DM1 of the Development Management Document states that *“in order to reinforce local distinctiveness all development should... protect the amenity of the site, immediate neighbours, and surrounding area, having regard to privacy, overlooking, outlook, noise and disturbance, visual enclosure, pollution, and daylight and sunlight...”*
- 4.21 It is considered that the proposed use of the site for two dwellinghouses would be more compatible use with the local area and have a lesser impact on neighbouring residential occupiers than the existing car sales, servicing and repairs lawful use in terms of noise and disturbance.
- 4.22 With regard to the built form and impact upon the adjoining neighbour at no. 11 Lansdowne Avenue located to the north of the site, the proposed dwellinghouses will project no further forwards than the front wall of the neighbouring property and extend 670mm further rearwards. It is not considered that this rearward projection would be overbearing upon the neighbour given its limited depth. There is currently a garage block which extends the full depth of the northern boundary of the application site which forms part of the boundary with the adjacent property. The demolition of the existing garages will allow additional light into this neighbouring property.

- 4.23 With regard to the impact upon adjoining properties to the south of the site at numbers 89 - 97 Leigh Road (odd numbers) which are predominantly commercial at ground floor with residential accommodation above, the proposed dwellinghouses will have a minimum separation distance of 10m from the rear of these neighbouring residential properties. It is considered that there is a sufficient level of separation to prevent the proposed development from being overbearing upon neighbours to the south. There are no windows proposed in the side (southern) elevation of the building. It is not considered that the proposed development would give rise to overlooking or loss of privacy to neighbouring occupiers adjoining the site given the position of habitable room windows and angle away from neighbours.
- 4.24 Therefore, it is considered that the proposed development satisfies policies KP2, CP4, DM1 and DM3.

Standard of Accommodation for Future Occupiers

National Planning Policy Framework, Policy KP2 and CP4 of the Core Strategy, Policies DM1, DM3 and DM8 of the Development Management Document and the Design and Townscape Guide

- 4.25 The internal floorspace standards set out in Policy DM8 of the Development Management Document have been superseded by the National Technical Housing Standards introduced in October 2015. This requires a three bedroom, five person (two storey) dwellinghouse to have a minimum internal floorspace of 99sq.m and built in storage of 2.5sq.m. The proposed dwellinghouse will meet this requirement.
- 4.26 The National Technical Housing Standards also require the following:
- (a) A dwelling with two or more bedspaces has at least one double (or twin) bedroom. - The proposed development meets this requirement.*
 - (b) In order to provide one bedspace, a single bedroom has a floor area of at least 7.5sq.m and is least 2.15sq.m wide. - The proposed single bedroom will meet this requirement.*
 - (c) In order to provide two bedspaces, a double (or twin bedroom) has a floor area of at least 11.5sq.m. - The proposed double bedroom will meet this requirement.*
 - (d) One double (or twin bedroom) is at least 2.75m wide and every other double (or twin) bedroom is at least 2.55m wide. – This requirement will be met.*
 - (e) A built-in wardrobe counts towards the Gross Internal Area and bedroom floor area requirements, but should not reduce the effective width of the room below the minimum widths set out above. The built-in area in excess of 0.72sq.m in a double bedroom and 0.36sq.m in a single bedroom counts towards the built-in storage requirement.*

The above requirements will be satisfied.

- 4.27 The proposed dwellinghouses would have a private rear garden area of 95 square metres and 73 square metres respectively. Whilst the Development Management Document does not set out any standards for amenity space, it states that this should be useable and functional to cater for the needs of the intended occupants.
- 4.28 It is considered that the proposed amenity space would be acceptable and functional for a dwellinghouse of this size.
- 4.29 All habitable rooms will have access to clear glazed windows and receive a satisfactory level of light.
- 4.30 The Lifetime Homes Standards referred to in Policy DM7 have been superseded by The Building Regulations 2015 Volume 1: Dwellings, M4(2): Accessible and Adaptable Dwellings. This requires all new dwellings to meet Building Regulations M4(2). Amended floorplans have been received which have demonstrated that this can be met.
- 4.31 It is not considered that the nearby commercial uses on Leigh Road would be detrimental to the future occupiers of the proposed dwellinghouses.
- 4.32 The standard of accommodation is considered to be acceptable and satisfies the above policies.

Traffic and Transportation

National Planning Policy Framework; DPD1 (Core Strategy) Policies KP2, CP4, CP3; Policy DM15 of the Development Management Document, the Design and Townscape Guide SPD1

- 4.33 Policy DM15 of the Development Management DPD requires two parking spaces for each of the proposed dwellinghouses of this size and in this location. Unlike the previous application, two parking spaces are proposed and therefore, whilst there is still a parking shortfall at the site, it would be possible to provide one parking space per property.
- 4.34 It is noted that Lansdowne Avenue currently suffers from on-street parking stress. However, in the consideration of the previous application, Officers expressed the opinion that the proposed use of the site for two dwellings rather than the existing car sales and garage use would reduce the volume and frequency of traffic movements in the street and would be likely to reduce on-street parking demand. Given the improvements to the general amenity of the area that would be brought about by residential development, the sustainable location and the desire to maintain plot widths of the surrounding area, it is considered that there are grounds to accept a compromise in terms of parking provision. Therefore, given that more parking would be provided than was previously the case, it is considered that the previous grounds of objection have been satisfactorily addressed.
- 4.35 Refuse storage is shown to the front of the dwellinghouses although as the proposed development is a dwellinghouse rather than flats, a formal refuse store is not required. Satisfactory kerbside refuse collection can be provided.

- 4.36 Therefore, in light of the above, no objection is raised on highways grounds and the proposed development satisfies the policies detailed above.

Sustainable Construction

National Planning Policy Framework; DPD1 (Core Strategy) Policies KP2 and CP4; Policies DM1 and DM2 of the Development Management Document and the Design and Townscape Guide SPD1

- 4.37 Paragraph 97 of the NPPF states that local authorities should promote energy from renewable sources. Policy KP2 of the Core Strategy states that all new development proposals should demonstrate how they will maximise the use of renewable and recycle energy, water and other resources.
- 4.38 Policy DM2 of the Development Management Document requires new development to be energy and resource efficient.
- 4.39 No details of renewables have been provided to demonstrate that the above policies will be met, however this could be required by a condition should permission be granted.
- 4.40 The proposed development will significantly increase the amount of soft landscaping (permeable materials) on the site which currently consists of hard landscaping. Therefore, it is not considered reasonable to require a scheme of SUDs in this instance.

Developer Contributions

National Planning Policy Framework; Community Infrastructure Levy Charging Schedule

- 4.41 This application is CIL liable and there will be a CIL charge payable. Section 143 of the Localism Act 2011 states that any financial sum that an authority has received, will, or could receive, in payment of CIL is a material 'local finance consideration' in planning decisions.
- 4.42 This application is CIL liable. The existing floorspace can be taken into account as this satisfies the 'in-use' test. The site is located within CIL Zone 3. Therefore, the required CIL payment is £1840.38.

Conclusion

- 4.43 Having taken all material planning considerations into account, it is found that subject to compliance with the attached conditions, the proposed development would be acceptable and compliant with the objectives of the relevant development plan policies and guidance. Whilst the proposed development will not provide car parking to meet the Council's Adopted Parking Standards, it is considered that the proposed development would derive an improvement in terms of vehicle movements and parking requirements. It is found that adding further car parking into the scheme would detract from the local character and be detrimental to the character and appearance of the streetscene.

The proposed development will have an acceptable impact on the amenities of neighbouring occupiers and will provide a satisfactory standard of accommodation for future occupants. The application is therefore recommended for approval subject to conditions.

5 Development Plan

- 5.1 National Planning Policy Framework, 2012.
- 5.2 Development Plan Document 1: Core Strategy Policies KP2 (Development Principles), CP1 (Employment Generating Development), CP3 (Transport and Accessibility), CP4 (The Environment and Urban Renaissance), CP8 (Dwelling Provision).
- 5.3 Development Management Document DPD Policies DM1 (Design Quality), DM2 (Low Carbon and Development and Efficient Use of Resources), DM3 (Efficient and Effective Use of Land), DM8 (Residential Standards), DM11 (Employment Areas) and DM15 (Sustainable Transport Management).
- 5.4 Design and Townscape Guide Supplementary Planning Document 1 (2009) (SPD1).
- 5.5 The Community Infrastructure Level Regulations (as amended) and The Community Infrastructure Levy Charging Schedule, 2015.

6 Relevant Planning History

- 6.1 Planning application 16/01350/FUL proposed a similar development, without parking. That application was refused for the reason set out above.

7 Representation Summary

Highways

- 7.1 Consideration has been given to the sustainable location of the site with regard to public transport which has good public transport links in close proximity. Therefore 1 car parking space per dwelling is acceptable in this location. Consideration has also been given to the existing use of the site which has the capacity to generate a large number of vehicle movements. The proposal would have a significant reduction in vehicle movements within the local area therefore no highway objections are raised.

Design

- 7.2 Lansdowne Avenue is an attractive street of traditional 2 storey houses most built as semi-detached properties or short terraces. There is some variation in design detail but overall the street has a cohesive character which includes many common features such as a regular rhythm of well detailed two storey bay windows with gable tops and well detailed porches of various designs. The houses are all of a consistent scale with matching eaves and ridge heights, gabled roofs and are set on a consistent building line close to the street with short front gardens.

Overall this is an attractive street with a strong character.

The proposal is seeking to demolish the existing industrial buildings and erect a pair of semi-detached houses of a similar design to the neighbouring properties. This is an amended proposal following a recent application for a similar design which was refused for lack of parking. To address this the applicant is proposing to set back the southernmost house to enable 2 parking spaces to be provided on the frontage. The northern most house will remain in a forward position to match the building line of the neighbour and wider streetscene and therefore provide a positive reference to local character where consistent and forward building lines are a key feature. It is considered that this option provides a transition between the proposed new development and the character of the existing street and in this area of parking street is considered to be an acceptable compromise provided the parking area has high quality surfacing and includes some landscaping.

In terms of the design detail, as with the previous application there is no objection to the proposal to replicate the design of the neighbouring properties but in order for the development to successfully integrate into the streetscene the proposal needs to replicate the detailing in the streetscene in addition to the overall form. This should include a well detailed bay, porch, windows and doors as well as a reference to local materials.

The proposed design is fairly plain in relation to the adjoining property which has moulded decoration to the bay which enriches the streetscene. It is noted that there are some plainer styles opposite which are similar to the proposed but the application is effectively terraced to more decorative properties and the inclusion of traditionally embellished bay pillars would be to the benefit of the scheme. It is also considered that the windows to the front should be sash mechanism so that they appear authentic to the chosen design approach.

A low wall is proposed to the frontage of the northern property which again references the streetscene and is welcomed although details of the landscaping will need to be agreed. As noted above the parking area to the southern property will also need to include landscaping.

To the rear the design is fairly simple and includes box dormers within the rear roofslope although these are reasonably scaled in this context.

Overall it is considered that the design of this proposal is compatible with local character and will be an improvement over the existing situation especially if the detailing to the bay is progressed.

Environmental Health

- 7.3 No objection raised subject to conditions relating to the construction process.

Public Consultation

- 7.4 Neighbours notified and a site notice displayed. Four letters of representation have been received in support of the application which set out that the development will be of benefit to the area by seeing the loss of a commercial use and improving parking provision and highway safety.

7.5 Three letters of objection have been received which raise objections on the following grounds:

- The proposal represents overdevelopment of the site and would have a detrimental impact upon the environment.
- The proposal will cause overshadowing of a property to the south.
- The proposal “is without complete off-street car parking” and provides inadequate parking but relies on on-street parking. The proposal will therefore increase existing parking problems and congestion. Additional on-street parking will also increase difficulties for cars to pass within Lansdowne Avenue.
- Undertaking the proposed development will cause a loss of sleep and health issues for a neighbouring resident of Leigh Road.
- The proposal would cause a loss of light and privacy to a property within Leigh Road.
- The proposed development would not align with the neighbouring buildings.
- Developments will restrict pedestrian movements along Lansdowne Avenue which is of increased importance to access bus connections of London Road.
- The proposal would cause the loss of employment and employment land.
- The proposed works would cause dust to enter surrounding properties including a nearby restaurant/sandwich shop.

8 Recommendation

Members are recommended to GRANT PLANNING PERMISSION subject to the following conditions:

01. The development hereby permitted shall begin no later than 3 (three) years from the date of this decision.

Reason: Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990.

02. The development hereby permitted shall be carried out in accordance with the approved plans: 15015-01(B) (Dated 12/12/16), 15015-04 (B) (Dated 12/12/16) and 15015-05 (B) (Dated 15/12/16)

Reason: To ensure that the development is carried out in accordance with provisions of the Development Plan.

03. No development shall take place until samples of the materials to be used on the external elevations of the dwellings, on any screen/boundary walls, fences and gates, and on any driveway, access road, forecourt or parking area, and details of the window design and detailing to the pillars to the front bay windows have been submitted to and approved by the local planning authority. The development shall only be carried out in accordance with the approved details before it is brought into use.

Reason: To safeguard character and appearance of the area and amenities of neighbouring occupiers in accordance with Policies KP2 and CP4 of the Core Strategy, Policies DM1 and DM3 of the Development Management Document and the Design and Townscape Guide, 2009 (SPD1).

04. No development shall take place until there has been submitted to and approved by the Local Planning Authority a scheme of landscaping. This shall include details of all the existing trees and hedgerows on the site and details of any to be retained, together with measures for their protection in the course of development; details of the number, size and location of the trees and shrubs to be planted together with a planting specification, details of the management of the site, e.g. the uncompacting of the site prior to planting, the staking of trees and removal of the stakes once the trees are established; details of measures to enhance biodiversity within the site and details of the treatment of all hard and soft surfaces (including any earthworks to be carried out) and means of enclosing the site. The landscaping shall be implemented in accordance with the agreed details, unless otherwise first agreed in writing by the Local Planning Authority.

Reason: In the interests of visual amenity and the amenities of occupiers and to ensure a satisfactory standard of landscaping pursuant to Policy CP4 of the Core Strategy, Policy DM1 of the Development Management Document and the Design and Townscape Guide, 2009.

05. All planting in the approved landscaping scheme shall be carried out within the first available planting season following the completion of the development or before it is brought into use of occupied. Any trees or shrubs dying, removed, being severely damaged or becoming seriously diseased within five years of planting shall be replaced with trees or shrubs of such size and species as may be agreed with the Local Planning Authority.

Reason: In the interests of visual amenity and to ensure a satisfactory standard of landscaping, pursuant to Policy CP4 of the Core Strategy DPD1 and Policy DM1 of the Development Management Document.

06. A scheme detailing how at least 10% of the total energy needs of the development will be supplied using on site renewable sources shall be submitted to and agreed in writing by the Local Planning Authority and implemented in full prior to the occupation of the dwellinghouse. This provision shall be made for the lifetime of the development.

Reason: In the interests of providing sustainable development in accordance with Policy KP2 of the Core Strategy, the Design and Townscape Guide (SPD1) and Development Management Document Policy DM2.

07. Prior to the first occupation of the dwellinghouse, the existing dropped kerbs to the front of the site shall be reinstated as footway and the parking spaces shown on the plans hereby approved shall be provided and made available for use by the occupants of the dwellings hereby approved. The parking spaces provided shall not be used for any purpose other than in relation to the occupation of the dwellings hereby approved.

Reason: To provide adequate parking and in the interest of visual amenity, in accordance with Policies DM1 and DM15 of the Development Management Document.

08. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 as amended, or any Order revoking or re-enacting that Order with or without modification, no development shall be carried out within Schedule 2, Part 1, Classes A, B, D, E or F of those Orders.

Reason: To safeguard the design and appearance of the dwellinghouses, in the interest of the standard of accommodation and to ensure that satisfactory amenity space remains for the amenities of future occupiers, in accordance with Development Management Document Policies DM1, DM3 and DM8 and the Design and Townscape Guide, 2009 (SPD1).

09. No development shall take place until a site investigation of the nature and extent of contamination has been carried out in accordance with a methodology which has previously been submitted to and approved in writing by the local planning authority. The results of the site investigation shall be made available to the local planning authority before any development begins. If any contamination is found during the site investigation, a report specifying the measures to be taken to remediate the site to render it suitable for the development hereby permitted shall be submitted to and approved in writing by the local planning authority. The site shall be remediated in accordance with the approved measures before development begins. If, during the course of development, any contamination is found which has not been identified in the site investigation, additional measures for the remediation of this source of contamination shall be submitted to and approved in writing by the local planning authority. The remediation of the site shall incorporate the approved additional measures.

Reason: To ensure that any contamination on the site is identified and treated so that it does not harm anyone who uses the site in the future, in the interest of the amenities of future occupiers in accordance with Core Strategy Policies KP2 and CP4, Development Management Document Policies DM1 and DM3.

10. Prior to occupation of the development hereby approved details of the water efficient design measures set out in Policy DM2 (iv) of the Development Management Document to limit internal water consumption to 105 litres per person per day (lpd) (110 lpd when including external water consumption), including measures of water efficient fittings, appliances and water recycling systems such as grey water and rainwater harvesting shall be submitted to and approved in writing by the Local Planning Authority. The development shall subsequently be undertaken in accordance with the approved details and retained in perpetuity.

Reason: To minimise the environmental impact of the development through efficient use of water in accordance with the National Planning Policy Framework, DPD1 (Core Strategy) policy KP2, DPD2 (Development Management Document) policy DM2 and SPD1 (Design and Townscape Guide).

11. Hours of construction related to the development hereby approved shall be restricted to 8am – 6pm Monday to Friday, 8am – 1pm Saturday and not at all on Sundays or Bank Holidays.

Reason: In the interests of the amenities of neighbouring residents in accordance with the National Planning Policy Framework, Policy DM1 of the Development Management Document and the Design and Townscape Guide, 2009.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.

Informatives

01. Please note that the proposed development subject of this application is liable for a charge under the Community Infrastructure Levy Regulations 2010 (as amended). Enclosed with this decision notice is a CIL Liability Notice for the applicant's attention and any other person who has an interest in the land. This contains details of the chargeable amount and how to claim exemption or relief if appropriate. There are further details on this process on the Council's website at: www.southend.gov.uk/cil

02. The applicant is reminded that this permission does not bestow compliance with other regulatory frameworks. In particular your attention is drawn to the statutory nuisance provisions within the Environmental Protection Act 1990 (as amended) and also to the relevant sections of the Control of Pollution Act 1974. The provisions apply to the construction phase and not solely to the operation of the completed development. Please contact 01702 215005 for more information.

03. The developer should also consider control measures detailed in Best Practice Guidance "The control of dust and emissions from construction and demolition". <http://www.london.gov.uk/priorities/planning/supplementary-planning-guidance>

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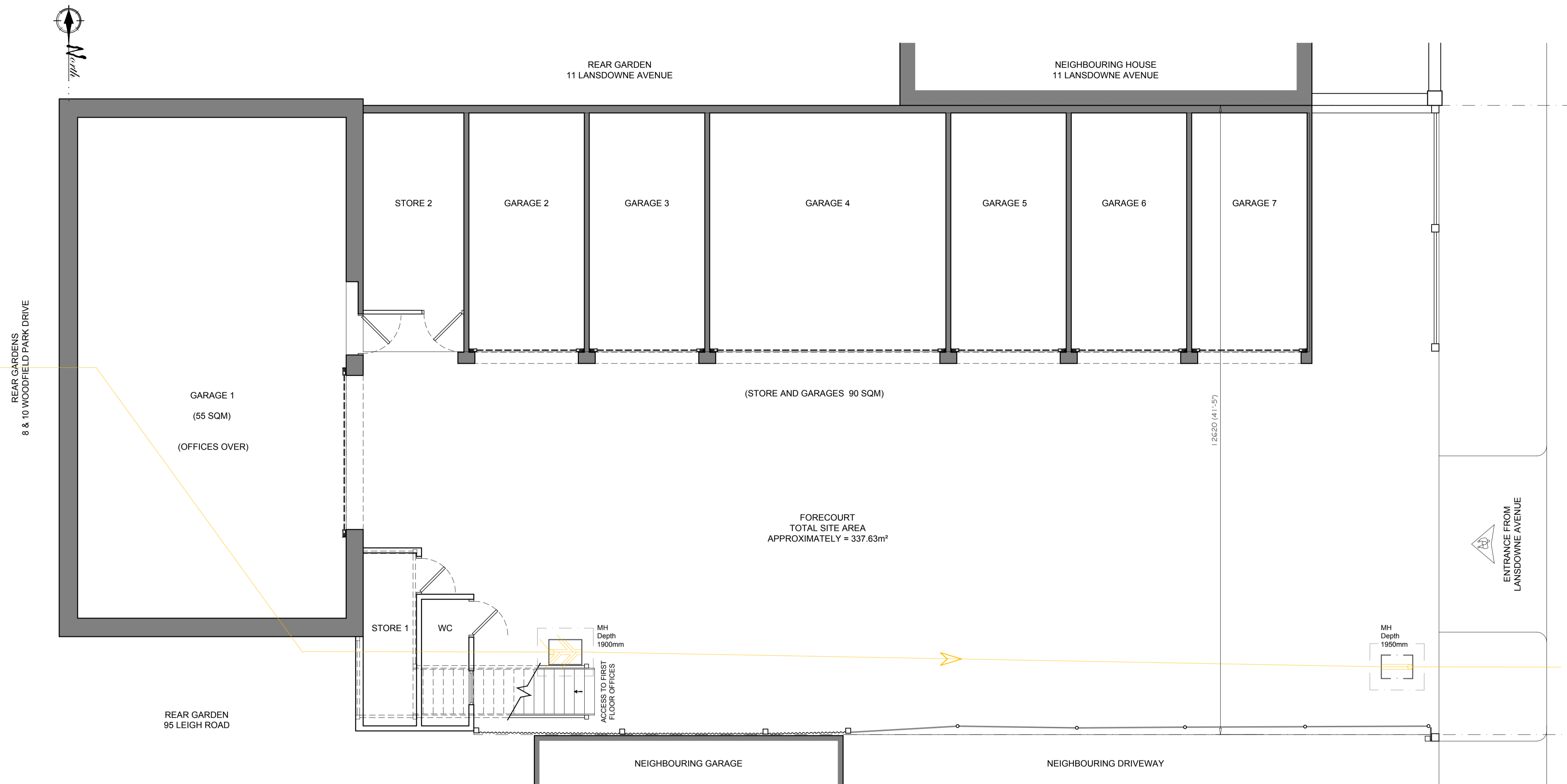


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Line indicates assumed boundary lines

Line indicates high level/hidden elements



125

PLANNING APPLICATION	12/12/16
PLANNING APPLICATION	19/07/16
DIMENSION ADDED	21-03-16

Rev: Amendment: Date:

EXISTING SITE PLAN SCALE 1:50



IMAGE OF R/O 11 LANSDOWNE AVE

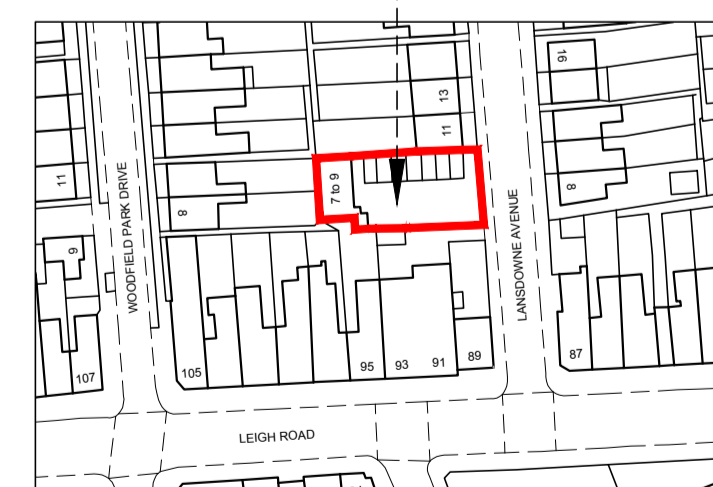


IMAGE OF 7/9 LANSDOWNE AVE (APPLICATION SITE)

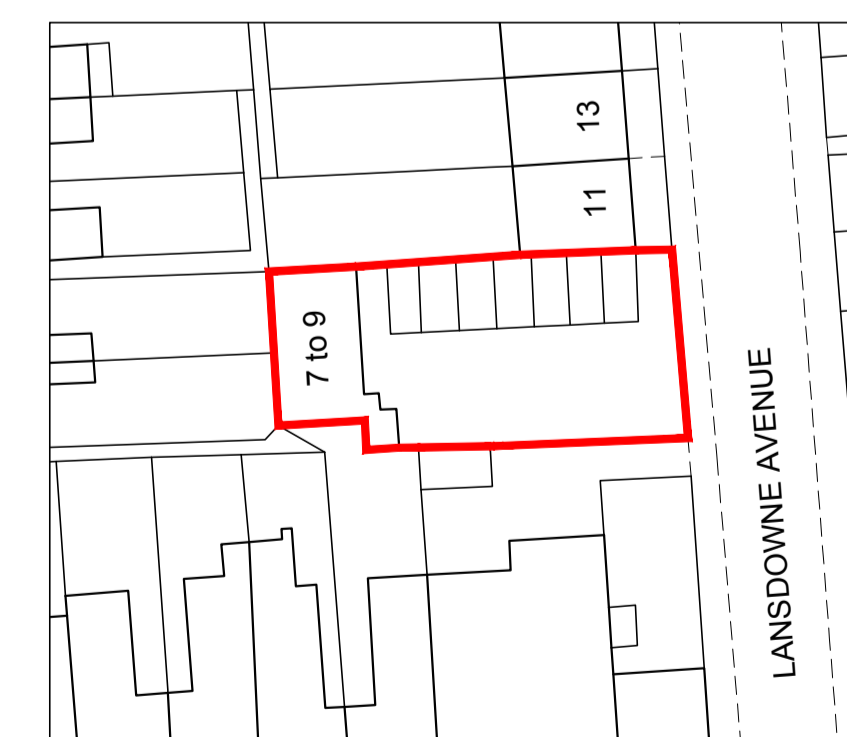


IMAGE OF 7/9 & 11 LANSDOWNE AVE VIEW FROM HIGHWAY

7-9 LANSDOWNE AVENUE, LEIGH-ON-SEA, ESSEX, SS91LJ SITE AREA: 337.63m²



EXISTING SITE LOCATION PLAN SCALE 1:1250



EXISTING SITE BLOCK PLAN SCALE 1:500



Client:	CHALKWELL PARK MOTORS	
Project:	7-9 LANSDOWNE AVENUE LEIGH-ON-SEA, ESSEX SS9 1LJ	
Title:	EXISTING SITE PLANS	
Drawn by:	TFS	Date: 12-11-15
Checked by:	AKW	
Scale @ A1:	1:50/500/1250	Dr. No.: 15015-01(B)

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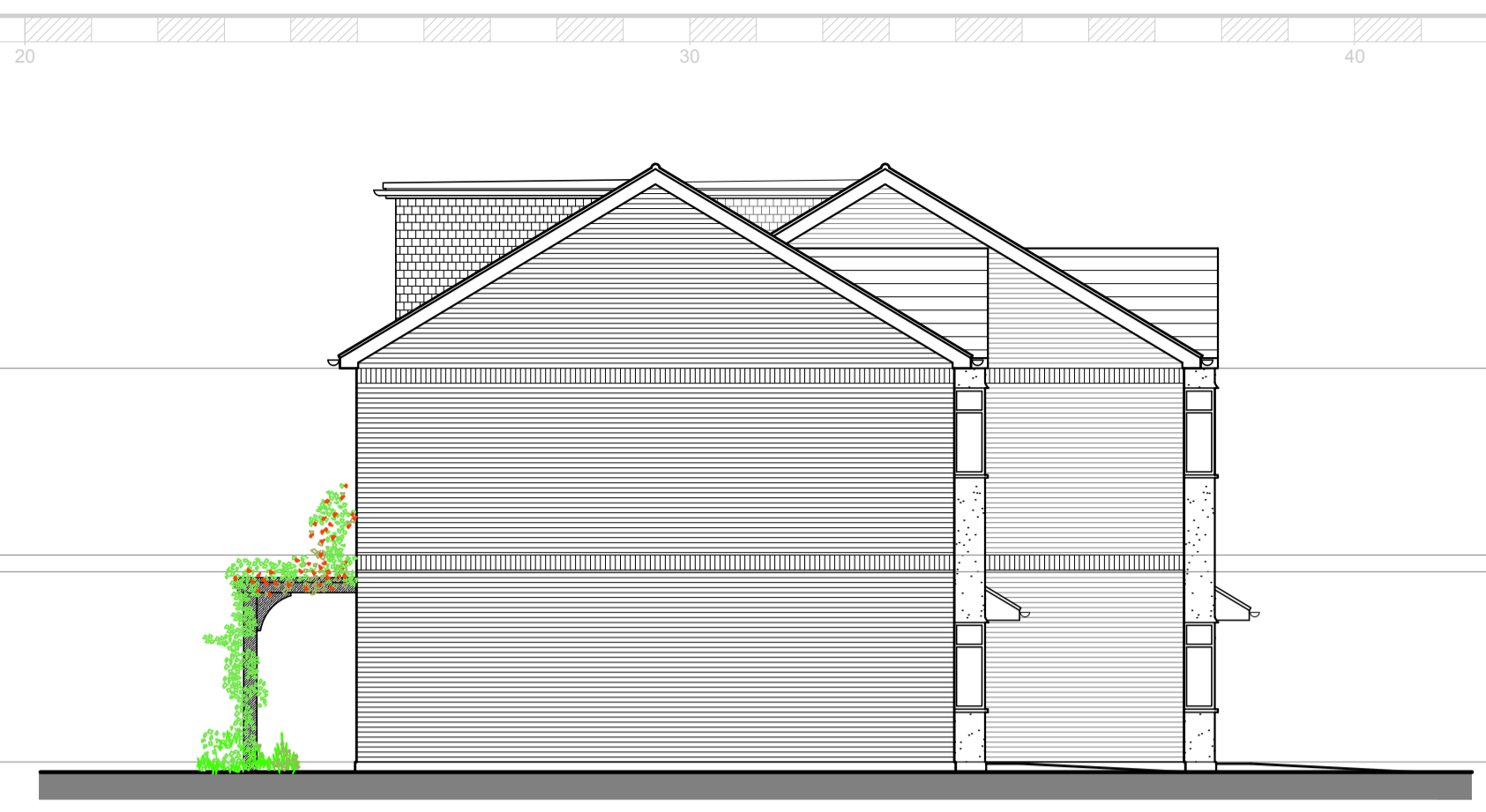
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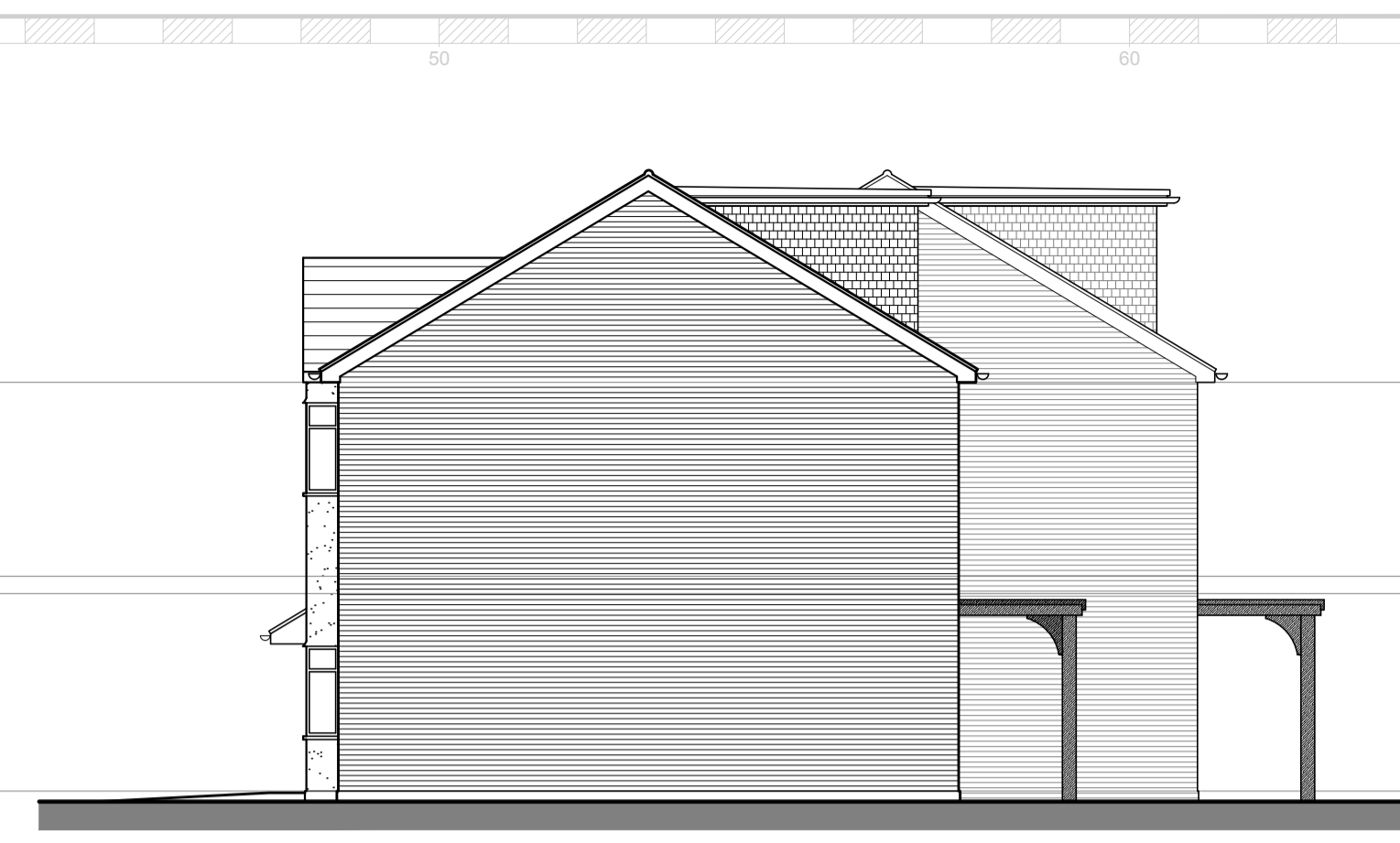
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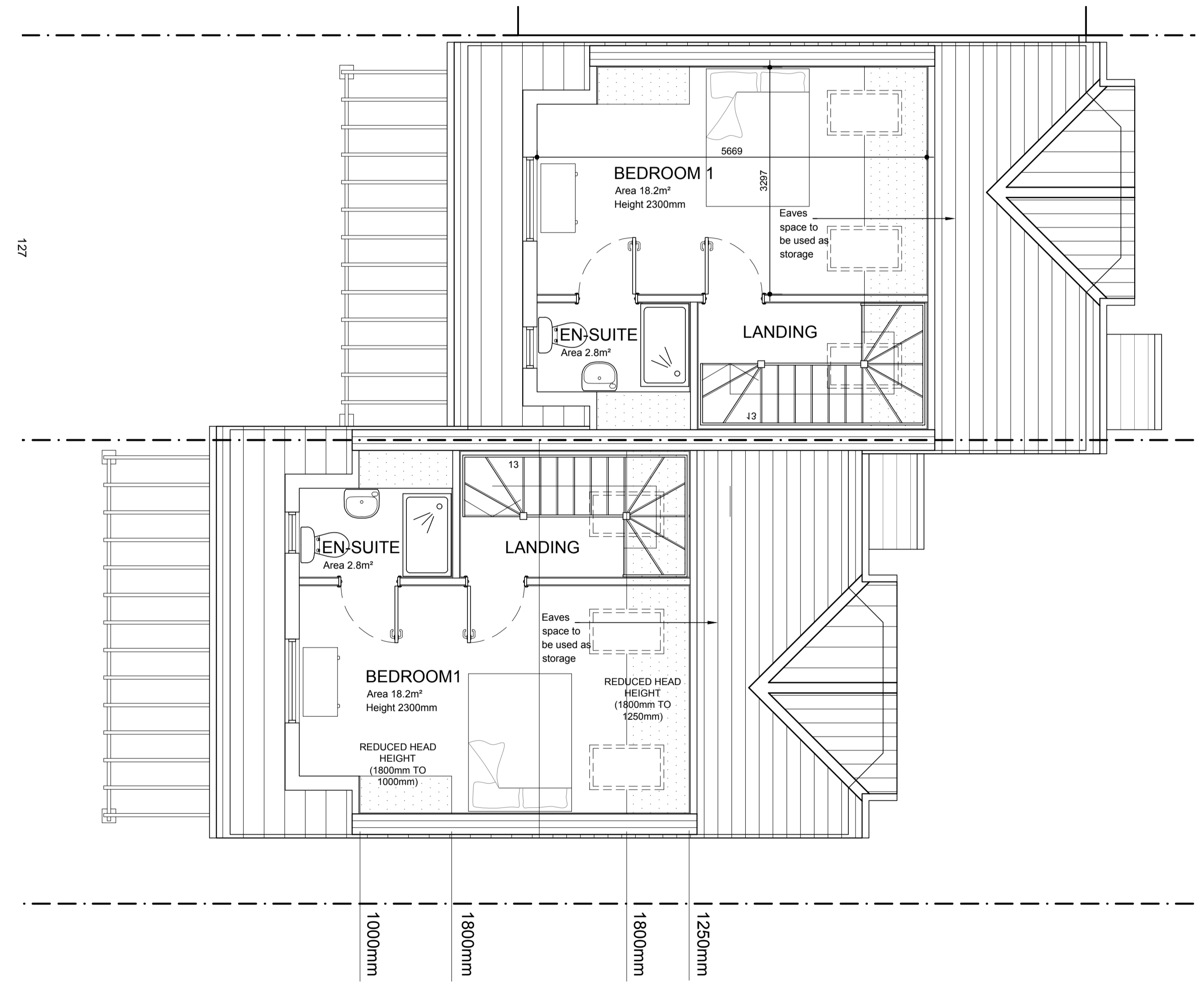
PROPOSED REAR ELEVATION
(scale 1:100)



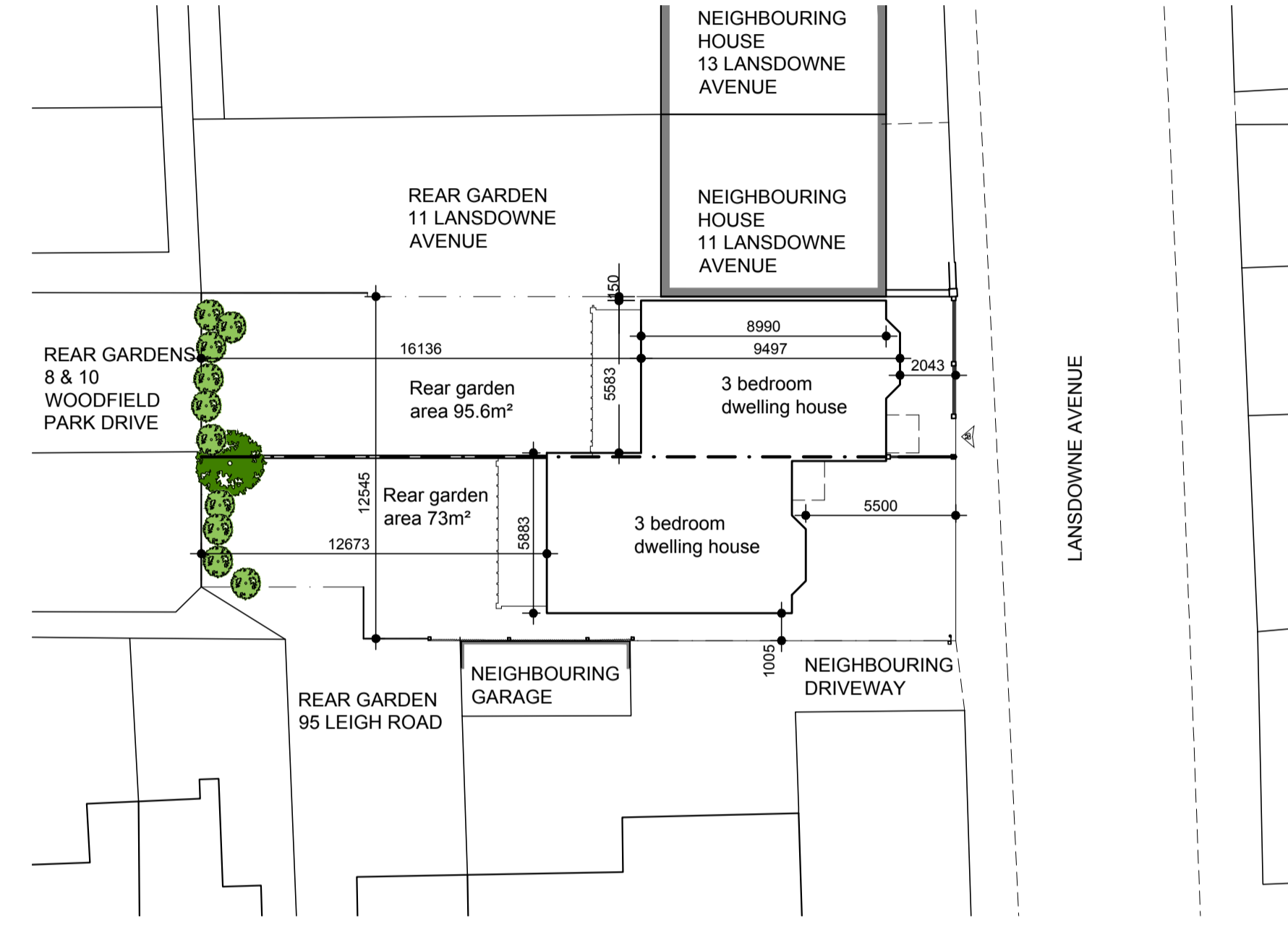
PROPOSED SIDE ELEVATION
(scale 1:100)



PROPOSED SIDE ELEVATION
(scale 1:100)



PROPOSED SECOND FLOOR PLAN
Gross Internal Area = 28m²
SCALE 1:50



PROPOSED SITE PLAN
SCALE 1:200

B	PROPOSED SITE PLAN ADDED	15/12/16
	PLANNING APPLICATION	12/12/16
A	GENERALLY UPDATED	12/12/16
	PLANNING APPLICATION	19/07/16
Rev:	Amendment:	Date:



Client: CHALKWELL PARK MOTORS
Project: 7-9 LANSDOWNE AVENUE
LEIGH-ON-SEA, ESSEX
SS9 1LJ
Title: PROPOSED ELEVATIONS AND
SECOND FLOOR PLAN

Drawn by: SM Date: 03-05-2016
Checked by: AKW
Scale @ A1: 1:50/100 Drg. No.: 15015-05

The Livemore Partnership LLP
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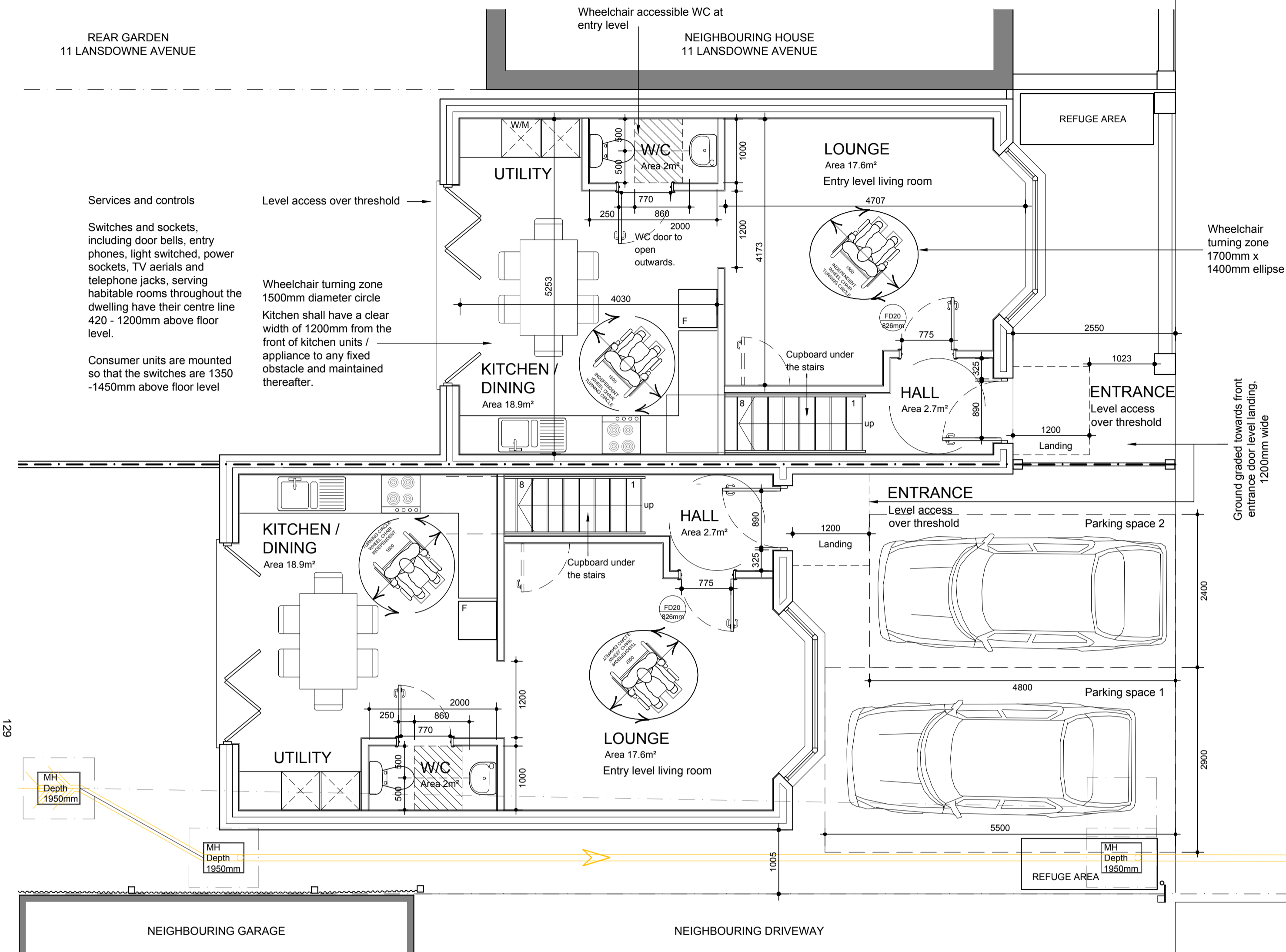
PROPOSED FRONT ELEVATION
SCALE 1:50

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PROPOSED THREE BEDROOM SEMI DETACHED HOUSE

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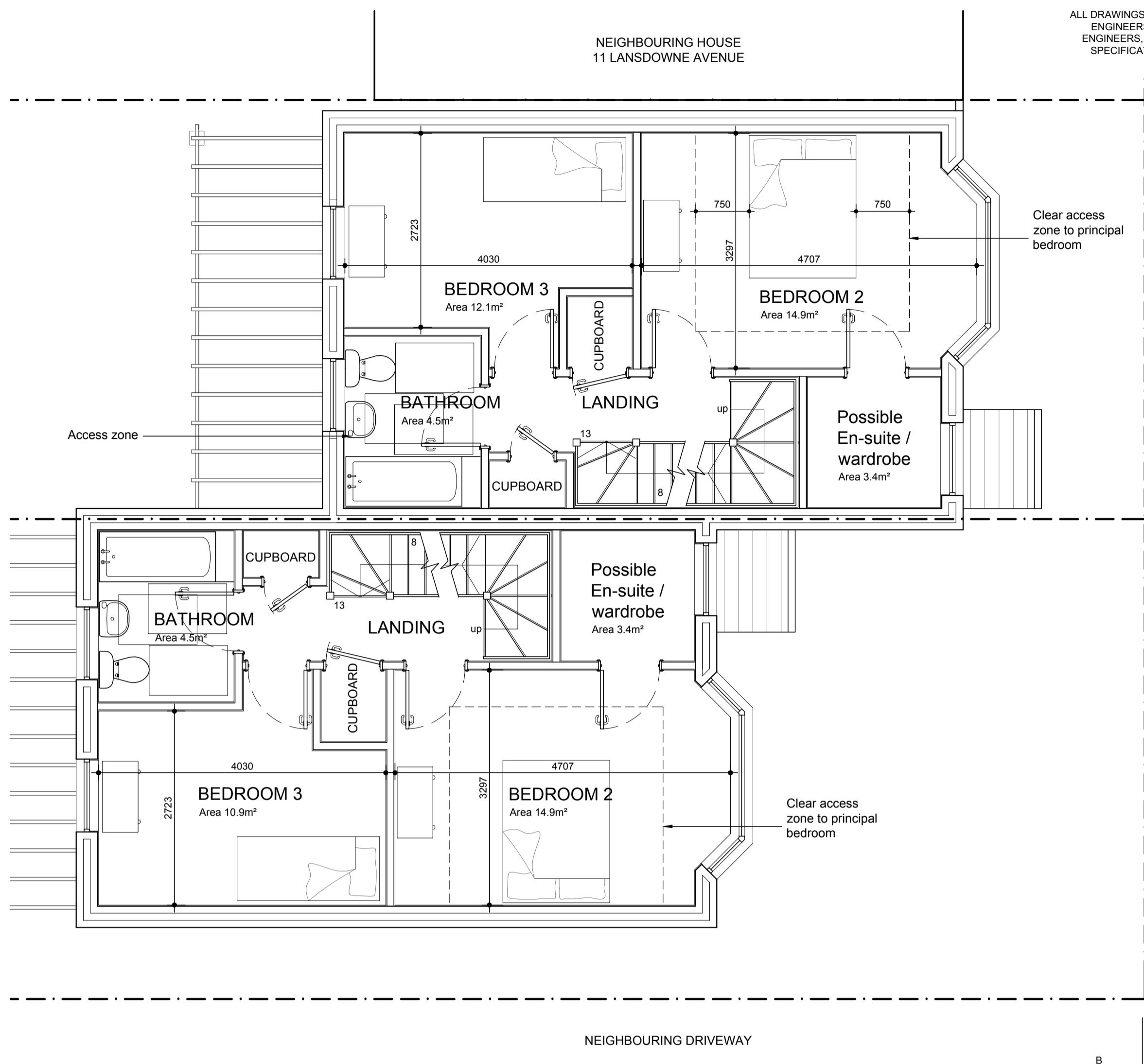
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PROPOSED GROUND FLOOR PLAN
Gross Internal Area = 44.9m²
SCALE 1:50

Minimum widths of corridors and passageways for a range of doorway widths

Doorway clear opening with (mm)	Corridor / passageway width (mm)
750 or wider	900 (when approached head-on)
750	1200 (when approach head-on)
775	1050 (when approach not head-on)
800	900 (when approach not head-on)

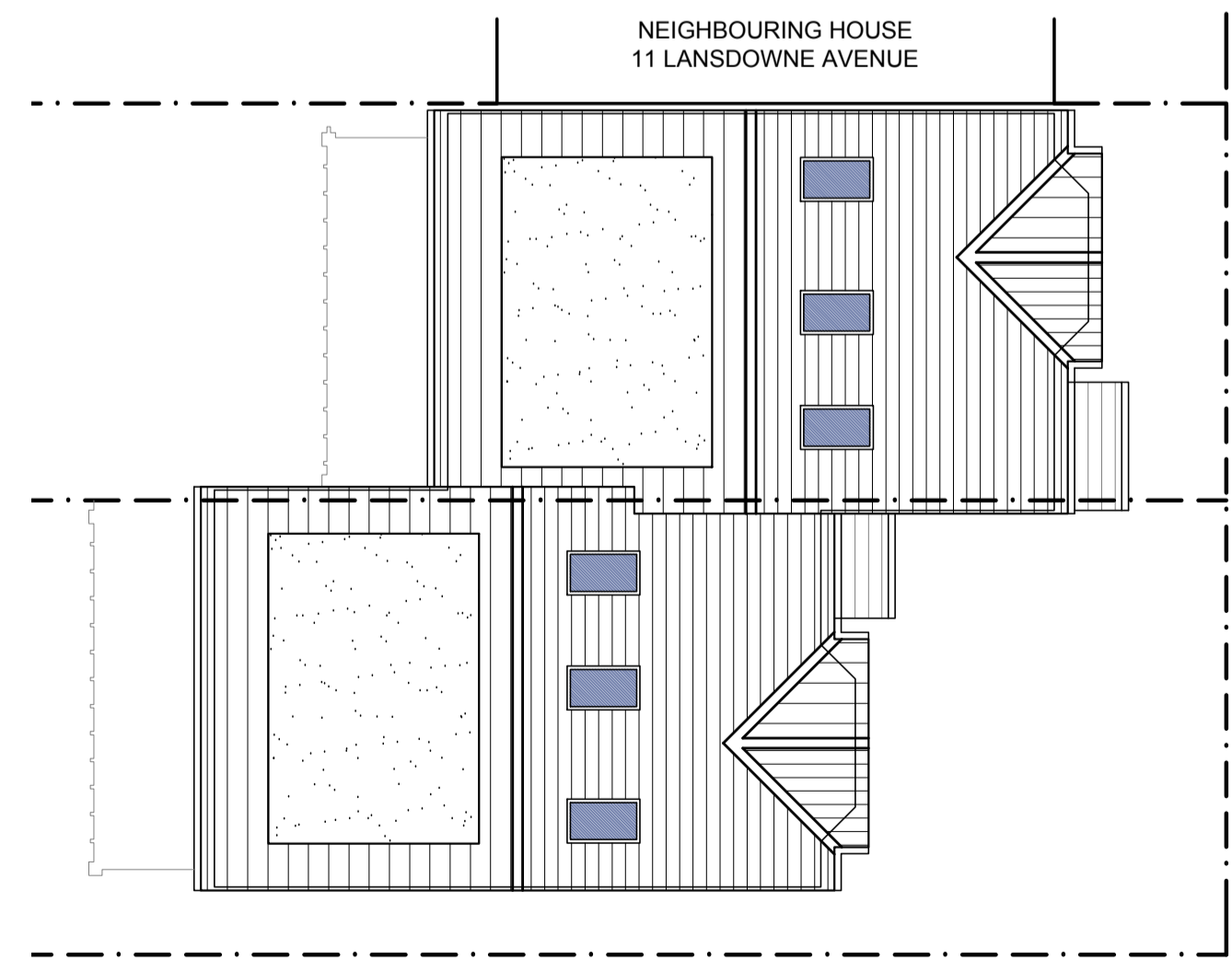


PROPOSED FIRST FLOOR PLAN
Gross Internal Area = 44.9m²
SCALE 1:50

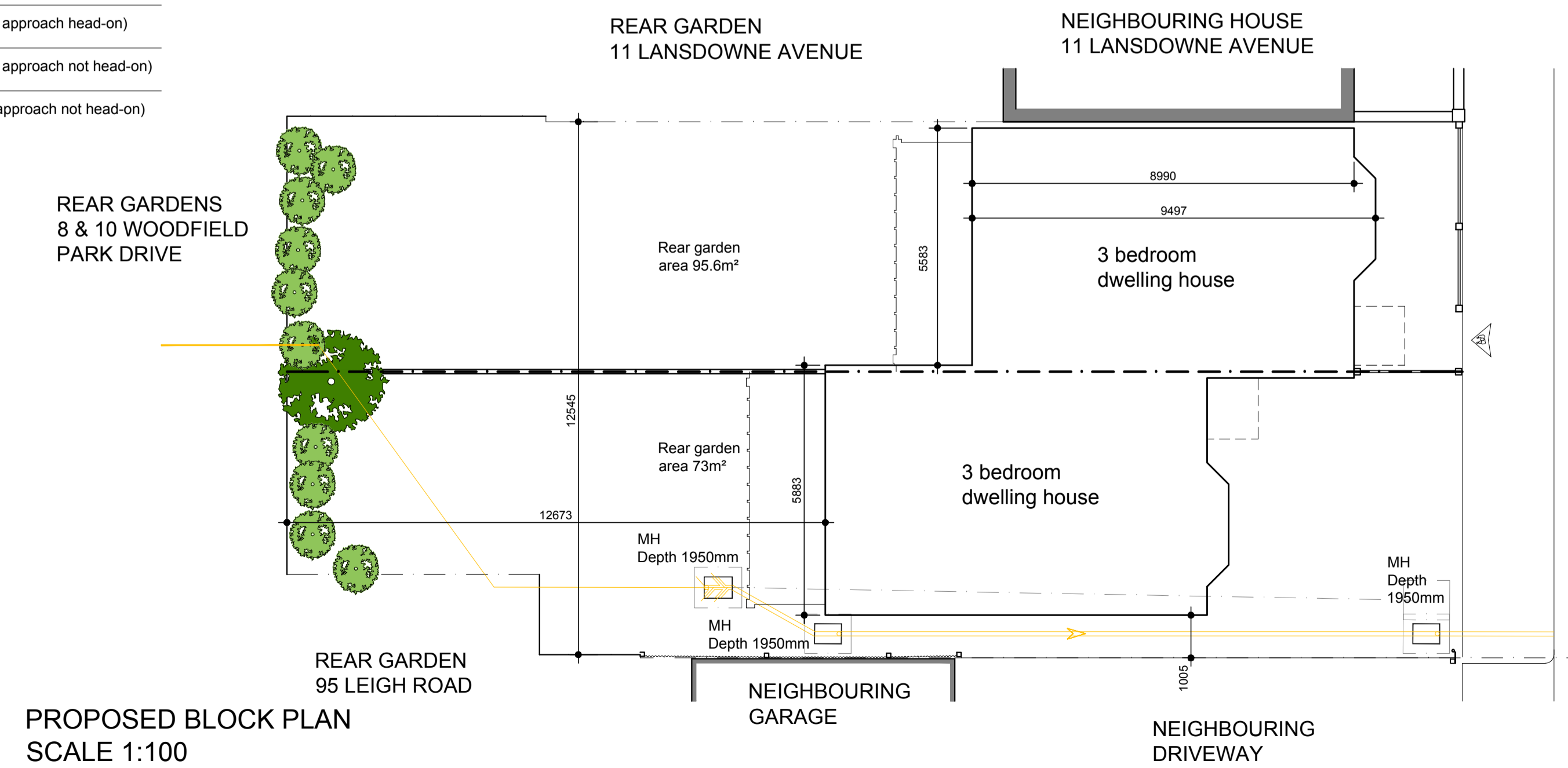
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Rev:	Amendment:	Date:
B	PLANNING APPLICATION	12/12/16
A	GENERALLY UPDATED	12/12/16
	PLANNING AMENDMENTS/ NOTES ADDED	19/10/16
	PLANNING APPLICATION	19/07/16



PROPOSED ROOF PLAN
SCALE 1:100



PROPOSED BLOCK PLAN
SCALE 1:100



Client: CHALKWELL PARK MOTORS

Project: 7-9 LANSDOWNNE AVENUE
LEIGH-ON-SEA, ESSEX
SS9 1LJ

Title: PROPOSED GROUND AND FIRST FLOOR PLANS/
ROOF PLAN AND BLOCK PLAN

Drawn by: SM Date: 03-05-2016

Checked by: AKW

Scale @ A1: 1:50/100 Drg. No.: 15015-04

The Livemore Partnership LLP

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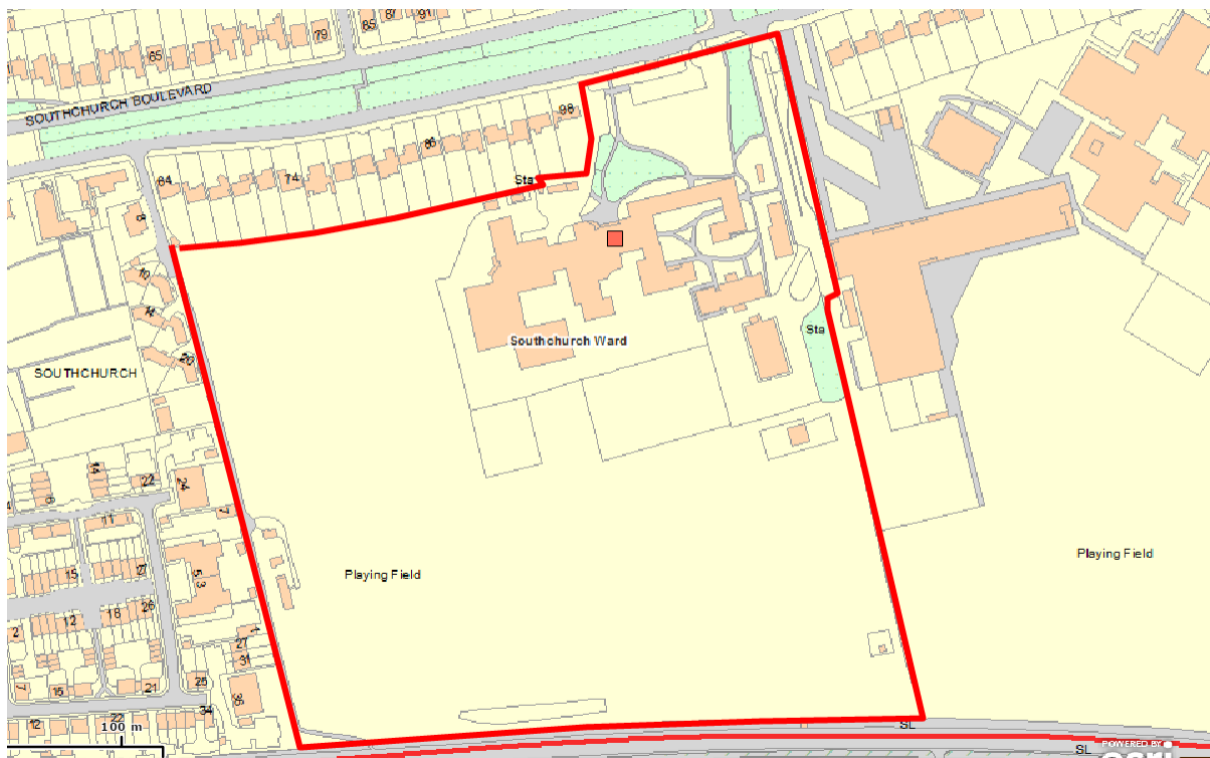
London Office:
150 Minorities,
London, EC3N 1LS
tel: 0207 3475435

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Reference:	16/02066/FULM
Ward:	Southchurch 7
Proposal:	Erect two storey teaching block, repositioning of tennis courts and store and layout parking
Address:	Southend High School for Girls, Southchurch Boulevard, Southend-on-Sea, Essex, SS2 4UZ
Agent	Southend High School For Girls
Applicant:	PCH Associates Ltd
Consultation Expiry:	09.01.2017
Expiry Date:	16.03.2017
Case Officer:	Janine Rowley
Plan No's:	188-3_PL_007.R1; 188-3_PL_006.R0; 188-3_PL_002.R1; 188-3_PL_004.R1; 188-3-PL_005.R01
Recommendation:	GRANT PLANNING PERMISSION



1 The Proposal

- 1.1 Planning permission is sought to erect a two storey teaching block, repositioning of tennis courts and store and car parking to the south of the main school buildings.
- 1.2 The proposed two storey detached building to the south of the existing school buildings would be 30.3m wide x 18.7m deep x 10.4m high and would provide 8 new classrooms, storage, toilets, plant rooms and associated offices. The internal floorspace is approximately 1059.8sqm. The building is proposed to be clad in 'Trespa' panels, buff brickwork and aluminium windows. The building has an asymmetrical pitched roofed and is of a contemporary design. Brise soleil have been added to the roof
- 1.3 The proposal also includes the repositioning of the existing tennis courts to the west of the site. The existing hardsurface will be extended and 6 tennis courts and 4 netball courts are to be retained. The extended tennis courts will cover a grassed landscape area currently not used as a playing field or sports area for existing pupils. The proposal will also include the repositioning of the sports equipment storage hut.
- 1.4 The proposal also includes new car parking creating 14 additional spaces from remodelling the existing car parking. Vehicle and pedestrian ramps are to be added.
- 1.5 The planning statement states the proposed development would enable a further 150 students to be accommodated and provide modern science facilities as well as 6 new teaching spaces.
- 1.6 This proposal will increase the number of students from 1100 to 1170 (870 will be secondary school pupils and 300 sixth form pupils) with 84 staff. Eight additional members of staff maybe required in the future.
- 1.7 A planning statement, design and access statement, energy statement, transport statement, ground investigation report, site investigation report have been submitted for consideration.

2 Site and Surroundings

- 2.1 The school site is located along Southchurch Boulevard. The existing school building fronts Southchurch Boulevard and there are a number of existing school buildings to the south. The immediate south of the existing buildings is the school playgrounds and playing fields. The site includes two main accesses from Southchurch Boulevard. To the south is Southend East rail line. To the east are residential properties and Futures Community College. To the west are two storey properties.
- 2.2 The playing fields are designated as 'Protected Green Space' by the Development Management Document DP2.

3 Planning Considerations

- 3.1 The main considerations in relation to this application are the principle of the development and loss of a playing field, design and impact on the character of the area, traffic and transportation, impact on residential amenity and CIL liability.

4 Appraisal

Principle of Development

National Planning Policy Framework, DPD1 (Core Strategy) policies KP2, CP4, CP6, CP7; DPD2 (Development Management) policy DM1, and the Design and Townscape Guide SPD1 (2009)

- 4.1 Policy CP6 of the Core Strategy advocates the need to improve educational facilities to ensure that the needs of the local community are met. The policy states that subject to the maintenance of satisfactory environmental conditions and residential amenities, the Borough Council will support the improvement or extension of existing public and private education establishments and will encourage the use of their facilities for community purposes where this would meet identified requirements. The proposed development will improve the facilities available at Southend High School for Girls, thus the proposal is in principle in accordance with Policy CP6 of the Core Strategy.
- 4.2 Policy CP7 of the Core Strategy states the Council will normally refuse permission for proposals involving the complete or partial loss of school playing fields. This amended proposal will would not directly affect any of the existing playing pitches that are currently marked out.
- 4.3 The proposed two storey detached building will be located to the south and west of existing school buildings located on existing tennis courts. However, the proposal also includes repositioning of the tennis courts to maintain useable tennis and netball courts to the west.
- 4.4 Sport England have raised no objection subject to conditions in relation to replacement tennis court design specifications and a replacement tennis court delivery as set out in the conditions below.

Design and Impact on the Character of the Area

National Planning Policy Framework; DPD1 (Core Strategy) policies KP2, CP4; DPD2 (Development Management) policy DM1, and Townscape Guide SPD1.

- 4.5 Policy DM1 of the Development Management requires any new development to respect and enhance the character of the site, its local context and surroundings in terms of its architectural approach, height, size, scale, form, massing, layout, proportions, materials and overall townscape. The proposed development will enable a replacement of a dilapidated technology building with a contemporary building providing extra internal floorspace for pupils at the existing school and future expansion.
- 4.6 The overall design is simple with varying pitches to the roof being the main feature. The proposed materials will relate satisfactorily to the existing buildings. Whilst it is noted the design officers has raised concern with the lack of entrance to the new building and suggested minor changes taking into account it is not visible from the street. It is considered the overall design and scale of the building does not detract from the character and appearance of the existing school buildings or the surrounding area.
- 4.7 Given the simplicity of the design, the success of the proposal will depend on the quality of materials, which can be controlled by condition.
- 4.8 The resiting of the tennis courts and storage hut for sports equipment will not result in any material harm to the character and appearance of the area.
- 4.9 Details on landscaping for the development will be dealt with by condition to ensure the appearance of the new building is softened and hardstanding surfaces defined.
- 4.10 In light of the above, subject to conditions the proposed development is considered to relate satisfactorily to the character and appearance of the existing school buildings and will provide a positive addition. The proposal is therefore consideration in accordance with the NPPF, policies KP2 and CP4 of the Core Strategy, policy DM1 of the Development Management, and the Design and Townscape Guide.

Traffic and transportation

National Planning Policy Framework; DPD1 (Core Strategy) policies KP2, CP4, CP3; DPD2 (Development Management) DM15, and the Design and Townscape Guide SPD1.

- 4.11 The primary vehicle access to the school is from Southchurch Boulevard in the north-eastern corner of the school, via a gated access with automatic rising gates. There is also a gated entrance and exit points to areas of car parking at the front of the school to the east of the main entrance. There are 60 spaces in the main car parking area for staff, with a further 36 spaces to the frontage available to sixth formers and visitors and 19 spaces at the drama studio car park for members of staff. In total, 115 spaces are available on site.

- 4.12 The eastbound and westbound Southchurch Boulevard carriageways are separated by wide verges in the vicinity of the site, with traffic calming provided by the on street parking that occurs in one lane in each direction. There are a number of safe pedestrian crossing points for children.
- 4.13 A shared footway/cycle way is present on the A1159 a short distance west of the school. Existing bus stops are on either side of Southchurch Boulevard served by 1, 4a, 14, 810, 28, 560 and 822. Southend East Railway station is located 1.2km walk from Southend High School for Girls and lies on the c2c service line between Shoeburyness and London Fenchurch Street.
- 4.14 Vehicle parking standards as required by policy DM15 of the Development Management DPD state as maximum standards 1 space per 15 students is required for years 7-11. For schools with further education as in this instance 1 space per 15 students for full time equivalent staff plus 1 space per 15 students for student parking are required. Based upon current planning policy 4 spaces are required for the 60 additional students proposed in years 7-11 and no additional spaces are required for the 10 additional sixth formers. However, given that the site will have 129 parking spaces available this exceeds the current maximum standards as set out by policy DM15 of the Development Management Document DPD2 and it is therefore considered to be acceptable.
- 4.15 The transport statement accompanying this application states that the majority of new trips generated to and from the school will be made by sustainable means, with the majority being by bus (as estimated 44 movements) and train (28 of the 44 movements) with students also walking to and from the school. It is not considered the additional students or members of staff will result in harm to the highway network.
- 4.16 Evidence has been submitted to demonstrate that the existing travel plan operated at the school successfully encourages travel by sustainable means; approximately 80% of students use sustainable means of transport. A condition will be imposed to ensure the travel plan is updated and reviewed annually and sustainable transport modes are continued to be encouraged.
- 4.17 The current proposal will allow for the provision of additional cycle spaces to be provided. Policy DM15 of the Development Management Document requires 25 cycle spaces to serve the development and the applicant has confirmed the additional spaces will be accommodated on site and this can be dealt with by condition to ensure the proposal is policy compliant in terms of cycle provision.
- 4.18 Taking the above, the parking is considered to be compliant with policy DM15 of the Development Management Document..

Impact on residential amenity

National Planning Policy Framework; DPD1 (Core Strategy) Policies KP2 and CP4; Development Management DPD2 policy DM1, and the Design and Townscape Guide SPD1 (2009).

- 4.19 Taking into account the location of the site to the rear of existing school building and distant from surrounding residents is it not considered the proposal will impact residential amenity in terms of being overbearing, overshadowing and loss of privacy.
- 4.20 In terms of noise and disturbance, there are no restrictions of the opening hours of the school. It should be noted no conditions were imposed on the school when originally constructed in terms of hours of use. The additional parking is proposed to be accessed from Southchurch Boulevard with an in and out system as per the existing layout. Given the existing parking in this location and the vehicle access is adjacent to Future Community College no objection is raised in relation to noise.

Sustainability

National Planning Policy Framework; DPD1 (Core Strategy) policy KP2; DPD2 (Development Management) policy DM2.

- 4.21 Paragraph 97 of the NPPF states that local authorities should promote energy from renewable sources. Policy KP2 of the Core Strategy states that all new development proposals should demonstrate how they will maximise the use of renewable and recycle energy, water and other resources. Policy DM2 of the Development Management Document advocates the need to ensure the delivery of sustainable development whereby all development proposals should contribute to minimising energy demand and carbon dioxide emissions in accordance with the energy hierarchy.
- 4.22 The drawings submitted illustrate a large area of photo voltaic panels are proposed to the roof and air source heat pumps are discussed within the supporting information. This approach is acceptable in principle but the 10% energy policy requirement will need to be demonstrated as no definitive calculations have been provided to demonstrate the proposal will meet the requirements of policy KP2 of the Core Strategy and this will be dealt with by condition.
- 4.23 Policy KP2 of the Core Strategy states all development proposals should demonstrate how they incorporate sustainable drainage systems (SUDS) to mitigate the increase in surface water runoff, and, where relevant, how they will avoid or mitigate tidal or fluvial flood risk.
- 4.24 The applicant has submitted a Drainage Strategy carried out by Barter Hill October 2016. The permitted surface water discharge from the site will be restricted to the green-field run off rate. Furthermore, permeable car parking bays based on an impermeable geomembrane with a perforated pipe outflow into the geo-cellular storage tank are proposed.
- 4.25 Subject to an appropriate condition and management strategies recommended within the submitted report and the detailed drawings, the applicant has demonstrated the proposal will not increase surface water runoff.

Other Matters

Lighting

- 4.26 No details of additional lighting have been proposed at this time. However, a suitable condition will be imposed to ensure full details are submitted for consideration to mitigate against any potential harm to surrounding residential properties.

Flood Risk Assessment

- 4.27 The site is located within flood zone 1 and is therefore suitable for all types of development without the need to pass the sequential test of exception test. The site is not at a significant risk of flooding. The supporting information carried out by Barter Hill confirms that the development will not increase discharge rates from any section that lies on currently permeable ground. Subject to conditions officers are satisfied that the proposed development will not result in any flood risk or drainage related issues.

Community Infrastructure Levy Charging Schedule

- 4.28 Although this application is CIL liable, given the development is a new teaching block, in this instance the chargeable amount has been calculated as a zero rate as applicable due to the school is registered with Local Education Authority and makes no profit.

Conclusion

- 4.29 In light of the above, the proposed development is considered to be acceptable and will provide an improved education facility. The development would not result in the loss of playing fields or sports facilities. The design and scale of the proposed development relates satisfactorily to the existing school buildings and will provide an improved education facility. The increased number of students and members of staff will have limited impact on the highway network and the number of parking spaces provides a policy compliant scheme.

5 Planning Policy Summary

- 5.1 National Planning Policy Framework
- 5.2 Development Plan Document 1: Core Strategy Policies KP1 (Spatial Strategy), KP2 (Development Principles), CP3 (Traffic and Highways), CP4 (The Environment and Urban Renaissance), CP6 (Community Infrastructure), CP7 (Sport, Recreation and Green Space)
- 5.3 Development Management Document: Development Management Document policies DM1 (Design Quality), DM2 (Low carbon development and efficient use of resources), DM15 (Sustainable Transport Management)

5.4 SPD1 Design & Townscape Guide 2009.

6 Representation Summary

Design & Regeneration

6.1 The proposal is for a two storey building to the rear of the main building. It is a rather simple design with the varying pitches to the roof being the main feature. The proposal could be enlivened by making more of the main entrance facing the school to the NE corner, by increasing the amount of glazing to the roof projection/ clearstorey and through the use of interesting materials or colours in the cladding, however, it is noted that this proposal will not be visible from the street and therefore the site is not prominent or requiring of a landmark design.

Sustainability

It is noted that a large area of photo voltaic panels are proposed to the roof, ASHP are also mentioned but do not seem part of the proposal. This is acceptable in principle but the 10% energy policy requirement will need to be demonstrated. The energy statement comments that the baseline Energy requirement is 54.3kwh/m² (section 3) but there are no definitive figures for the predicted energy requirement (including renewables) in kwh/m² so the 10% has not yet been demonstrated and should be conditioned **[Officer Comment: This will be dealt with by condition]**.

Children and Learning

6.2 No comments.

Traffic and Transportation

6.3 The proposal has provided 129 parking spaces for all staff, 6th form students and visitors. This total exceeds current parking policy requirements.

The additional number of proposed vehicle movements associated with the development will not have a detrimental impact on the local highway network.

The school is located in a sustainable location with regard to public transport with good frequent links in close proximity. A condition should be imposed to ensure that cycle parking provision meets current policy standards.

The school has an existing travel plan which actively encourages sustainable travel to and from school.

Given the above information and that contained within the transport statement there are no highway objections to the proposal.

Sport England

- 6.4 Sport England has considered the application in the light of the National Planning Policy Framework (particularly Para 74) and Sport England's policy to protect playing fields, 'A Sporting Future for the Playing Fields of England' (see link below): www.sportengland.org/playingfieldspolicy

The Proposal and Impact on Playing Field

The proposal principally involves a new teaching block and additional car parking that would be sited on part of Southend High School for Girls' tennis courts. This would involve the loss of the eastern half of the existing courts which comprises three courts. This would be mitigated by extending the remaining tennis court area to the west onto part of the playing field to provide an equivalent area of replacement tennis courts.

Assessment against Sport England Policy

As the proposal involves replacement tennis court provision it needs to be considered against exception E4 of the above policy, which states:

- E4 – The playing field or playing fields which would be lost as a result of the proposed development would be replaced by a playing field or playing fields of an equivalent or better quality and of equivalent or greater quantity, in a suitable location and subject to equivalent or better management arrangements, prior to the commencement of development

The proposal is to extend the tennis courts and provide an equivalent replacement area in terms of size so that the existing six tennis courts would be retained on the site in a similar configuration to the existing layout. While there is limited detail available about the design of the replacement courts, the applicant has advised that they would have a porous macadam surface and would be designed so that they integrate with the remaining three courts which would have new line markings/paint so that they provide a similar standard surface to the new courts as well as physically integrating with them. Potential therefore exists for the replacement courts to be equivalent in quality. In terms of phasing, it is proposed that the courts will not be replaced until after the teaching block has been completed which would result in a net loss of access to three courts for just over a year. It has been advised that the school's needs can be adequately met on the remaining courts and in the sports hall during this temporary period. As it is understood that there is no community use of the tennis courts, the temporary loss of provision would not appear to have an impact on community use. Based on the information provided, the proposal would appear to be broadly meet the criteria in exception E4.

While the proposed phasing would result in a temporary impact, this would not appear to impact on the delivery of the school's PE curriculum or community use for a short term period. However, there would be a need to ensure the replacement courts are delivered within the proposed timescales in order to ensure that the temporary period is not any longer than that proposed.

In terms of the impact on the playing field, the replacement tennis courts would be sited in a small partially enclosed area between the existing courts and a car park. This area is occupied by trees, a footpath and a storage shed. Due to the limited size of this area and its characteristics, this area would not be capable of forming a playing pitch or part of one and would accord with exception E3 of the above policy.

Conclusion and Recommendation

In view of the above assessment, I can therefore confirm that Sport England does not wish to raise an objection to this application as it is considered to meet exceptions E4 and E3 of the above policy. The absence of an objection is subject to the following conditions being attached to the decision notice should the local planning authority be minded to approve the application:

- Replacement Tennis Court Design Specifications: A condition requiring the replacement tennis court design specifications to be submitted and approved. This is justified as limited information is available at this stage of the design specifications of the new courts and therefore it is not possible to confirm that the courts would be of at least equivalent quality to those that they would replace. The condition should specifically require details to be provided of the surfacing, fencing, and line markings including enhancements to the existing courts.

A condition that Sport England recommends which is based on our model conditions is as follows:

"No development of the replacement tennis courts shall commence until details of the design and layout of the replacement tennis courts, including details of surfacing, line marking, fencing and enhancements to the existing tennis courts, have been submitted to and approved in writing by the Local Planning Authority [after consultation with Sport England]. The replacement tennis courts shall not be constructed other than in accordance with the approved details.

Reason: To ensure the satisfactory, quality of compensatory provision and to ensure that the development is fit for purpose and sustainable and to accord with Development Plan Policy.

Informative: The applicant is advised that the design and layout of the replacement tennis courts should comply with Sport England's 'Artificial Surfaces for Outdoor Sports' guidance note (2013) www.sportengland.org/facilities-planning/tools-guidance/design-and-cost-guidance/artificial-sports-surfaces/

Replacement Tennis Court Delivery: A planning condition requiring the replacement tennis courts to have been completed and made available for use within 3 months of completion of the teaching block. The applicant has advised that the replacement tennis courts are projected to be completed in a period of just over 2 months following the completion of the teaching block. Sport England would expect the replacement tennis courts to be implemented within this proposed timescale in order to ensure that they are completed in practice within an acceptable timescale and to ensure that the temporary period during which there is a net loss of court provision is minimised. A recommended condition is:

“The replacement tennis courts shall be completed and made available for use within 3 months of the practical completion of the teaching block hereby permitted”

Reason: To ensure the satisfactory quantity, quality and accessibility of compensatory provision which secures a continuity of use [phasing provision] and to accord with Development Plan Policy”

If you wish to amend the wording of the suggested planning conditions or use another mechanism in lieu of this, please discuss the details with the undersigned. Sport England does not object to such amendments, provided they achieve the same outcome and we are involved in any amendments. If your Council decides not to attach the above conditions, Sport England would wish to raise an objection to this application.

Public Consultation

- 6.5 Site notice displayed 19.12.2016 and neighbours notified of the proposal. No letters of representation have been received.

7 Relevant Planning History

- 7.1 There is an extensive history on this site but none is relevant to the current application.

8 Recommendation

Members are recommended to:

8.1 GRANT PLANNING PERMISSION subject to the following conditions:

- 1 The development hereby permitted shall be begun not later than 3 years beginning with the date of this permission.**

Reason: Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990.

- 2 The development hereby permitted shall be carried out in accordance with the approved plans 188-3_PL_007.R1; 188-3_PL_006.R0; 188-3_PL_002.R1; 188-3_PL_004.R1; 188-3-PL_005.R01.**

Reason: To ensure that the development is carried out in accordance with the policies contained within the Development Plan.

- 3 No development shall take place until samples of the materials to be used on all the external elevations and parking area have been submitted to and approved by the local planning authority. The development shall only be carried out in accordance with the approved details.**

Reason: In the interests of visual amenity and to ensure that the appearance of the building makes a positive contribution to the character and appearance of surrounding locality. This is as set out in DPD1 (Core Strategy) 2007 policy KP2 and CP4, DPD2 (Development Management Document) 2015 policy DM1 and SPD1 (Design and Townscape Guide)

- 4 No development of the replacement tennis courts shall commence until details of the design and layout of the replacement tennis courts, including details of surfacing, line marking, fencing and enhancements have been submitted to and approved in writing by the Local Planning Authority [after consultation with Sport England]. The replacement tennis courts shall not be constructed other than in accordance with the approved details.**

Reason: To ensure the satisfactory, quality of compensatory provision and to ensure that the development is fit for purpose and sustainable and to accord with Development Plan Policy CP7 of the Core Strategy DPD1.

- 5 The replacement tennis courts shall be completed and made available for use within 3 months of the practical completion of the teaching block hereby permitted.**

Reason: To ensure the satisfactory quantity, quality and accessibility of compensatory provision which secures a continuity of use [phasing provision] and to accord with Development Plan Policy CP7 of the Core Strategy DPD1.

6 No development shall take place until full details of both hard and soft landscape works, have been submitted to and approved in writing by the local planning authority and the approved hard landscaping works shall be carried out prior to first occupation of the development and the soft landscaping works within the first planting season following first occupation of the development, unless otherwise agreed in writing by the local planning authority. These details shall include, for example:-

- i** proposed finished levels or contours;
- ii.** means of enclosure, including any gates to the car parks;
- iii.** car parking layouts;
- iv.** other vehicle and pedestrian access and circulation areas;
- v.** hard surfacing materials;
- vi.** minor artefacts and structures (e.g. street furniture, loggia, bollards, play equipment, refuse or other storage units, signs, lighting, etc.)

This shall include details of details of the number, size and location of the trees, shrubs and plants to be planted together with a planting specification, details of the management of the site, e.g. the uncompacting of the site prior to planting, the staking of trees and removal of the stakes once the trees are established, details of measures to enhance biodiversity within the site and tree protection measures to be employed during demolition and construction.

Reason: To ensure that the development is satisfactory in terms of its appearance and that it makes a positive contribution to the local environment and biodiversity in accordance with DPD1 (Core Strategy) policy KP2 and CP4, DPD2 (Development Management) emerging policy DM1 and SPD1 (Design and Townscape Guide).

7 The 129 car parking spaces shall be provided in accordance with drawing 188-3_PL_006.RO hereby approved and shall thereafter be permanently retained, unless otherwise agreed in writing by the local planning authority. Permeable paving shall be used for the hardstanding area.

Reason: In the interests of highway management and safety, residential amenity and general environmental quality in accordance with the NPPF, DPD1 (Core Strategy) 2007 policy KP2, CP3 and CP4, DPD2 (Development Management) policy DM15, and SPD1 (Design and Townscape Guide).

8 Prior to installation of any external lighting, the proposed lighting, including design, siting, luminance, hours of illumination and an assessment using the Institution of Lighting Engineers Guidance Note for the Reduction of Obtrusive Light shall be submitted to and approved in writing by the Local Planning Authority. The lighting shall be installed only in accordance with the approved scheme.

Reason: To protect the amenities of neighbouring properties and the general environmental quality in accordance with, NPPF, DPD1 (Core Strategy) 2007 policy KP2 and CP4, and DPD2 (Development Management Document) 2015 policy DM1.

- 9** A scheme detailing how at least 10% of the total energy needs of the new building will be supplied using on site renewable sources must be submitted to and agreed in writing by the Local Planning Authority and implemented in full prior to the first occupation of the building. This provision shall be made for the lifetime of the development.

Reason: In the interests of providing sustainable development in accordance with Policy KP2 of the Core Strategy (DPD1).

- 10** The development hereby approved shall be carried out in accordance with the Drainage Strategy carried out by Barter Hill October 2016. The sustainable drainage system shall be managed and maintained thereafter in accordance with the agreed management and maintenance plan.

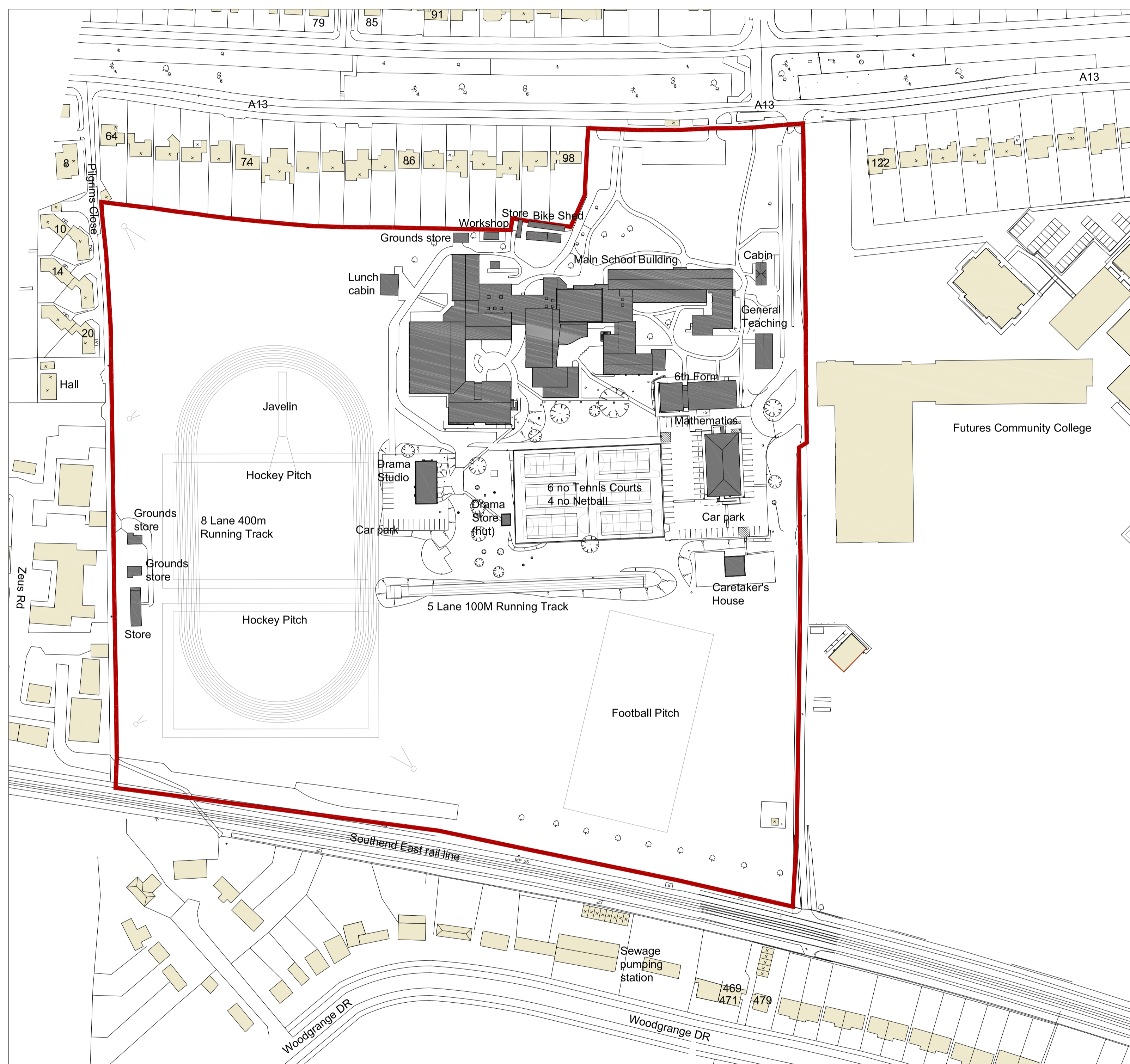
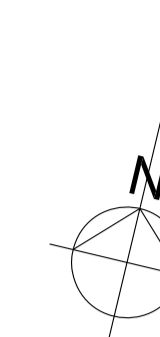
Reason: In order to ensure a satisfactory standard of sustainable drainage and to prevent environmental and amenity problems arising from flooding in accordance with Policies KP2 and CP4 of the Core Strategy DPD1, DPD2 (Development Management) policy DM2.

Informatives

- 1** You are advised that in this instance the chargeable amount for the Community Infrastructure Levy (CIL) has been calculated as zero due to the specific nature of the use.
- 2** You are advised that the development hereby approved is likely to require approval under Building Regulations. Our Building Control Service can be contacted on 01702 215004 or alternatively visit our website http://www.southend.gov.uk/info/200011/building_control for further information.

The Local Planning Authority has acted positively and proactively in determining this application by identifying matters of concern within the application (as originally submitted) and negotiating, with the Applicant, acceptable amendments to the proposal to address those concerns. As a result, the Local Planning Authority has been able to grant planning permission for an acceptable proposal, in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.

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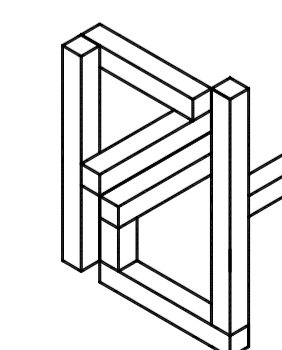
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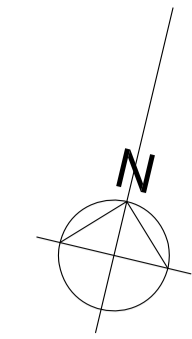
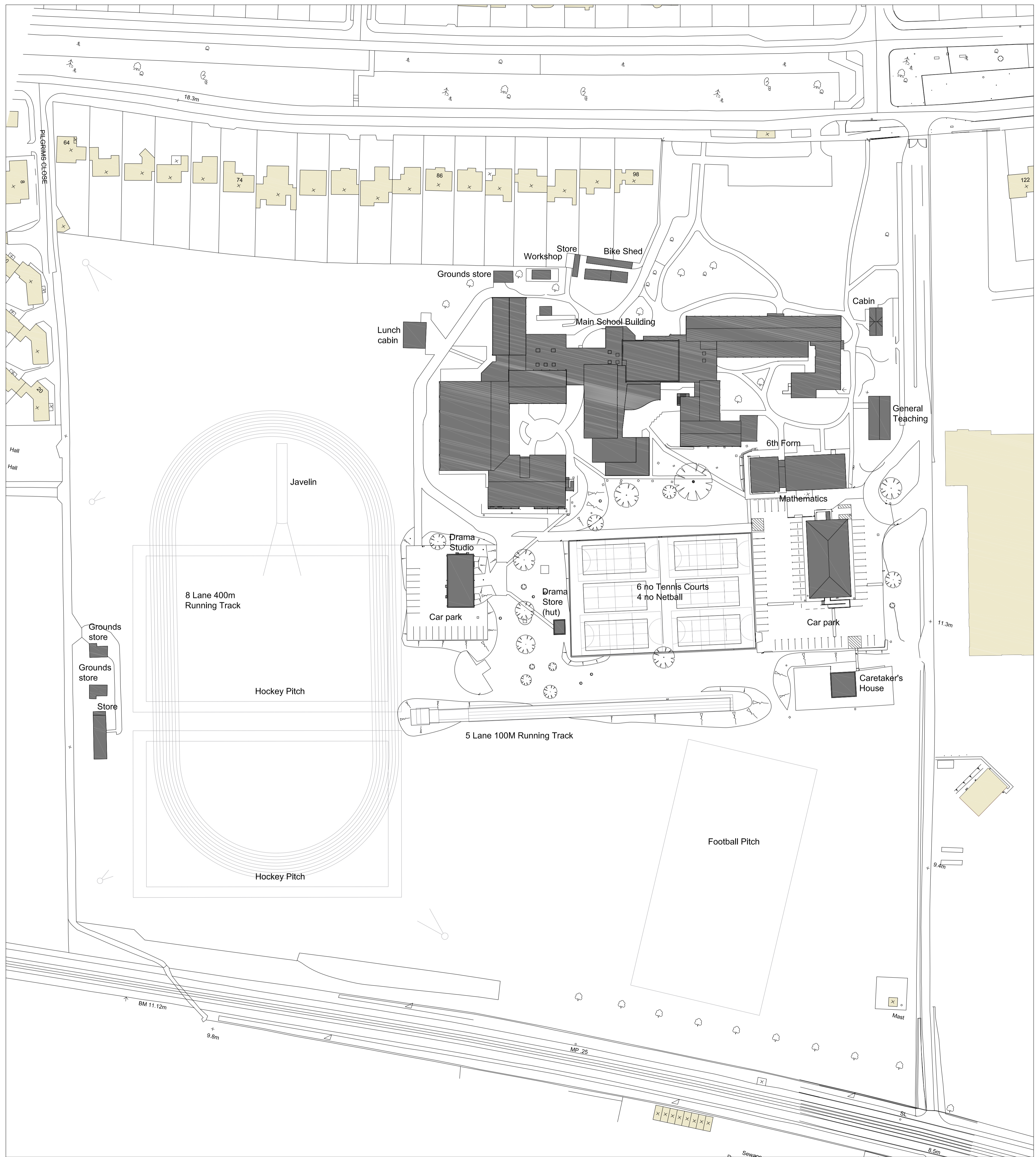
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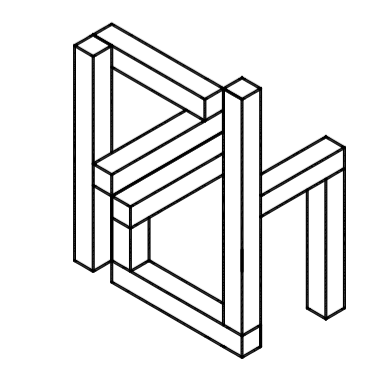
1	14/11/2016	Added store Hut note.
0	17/10/2016	Draft Issue.

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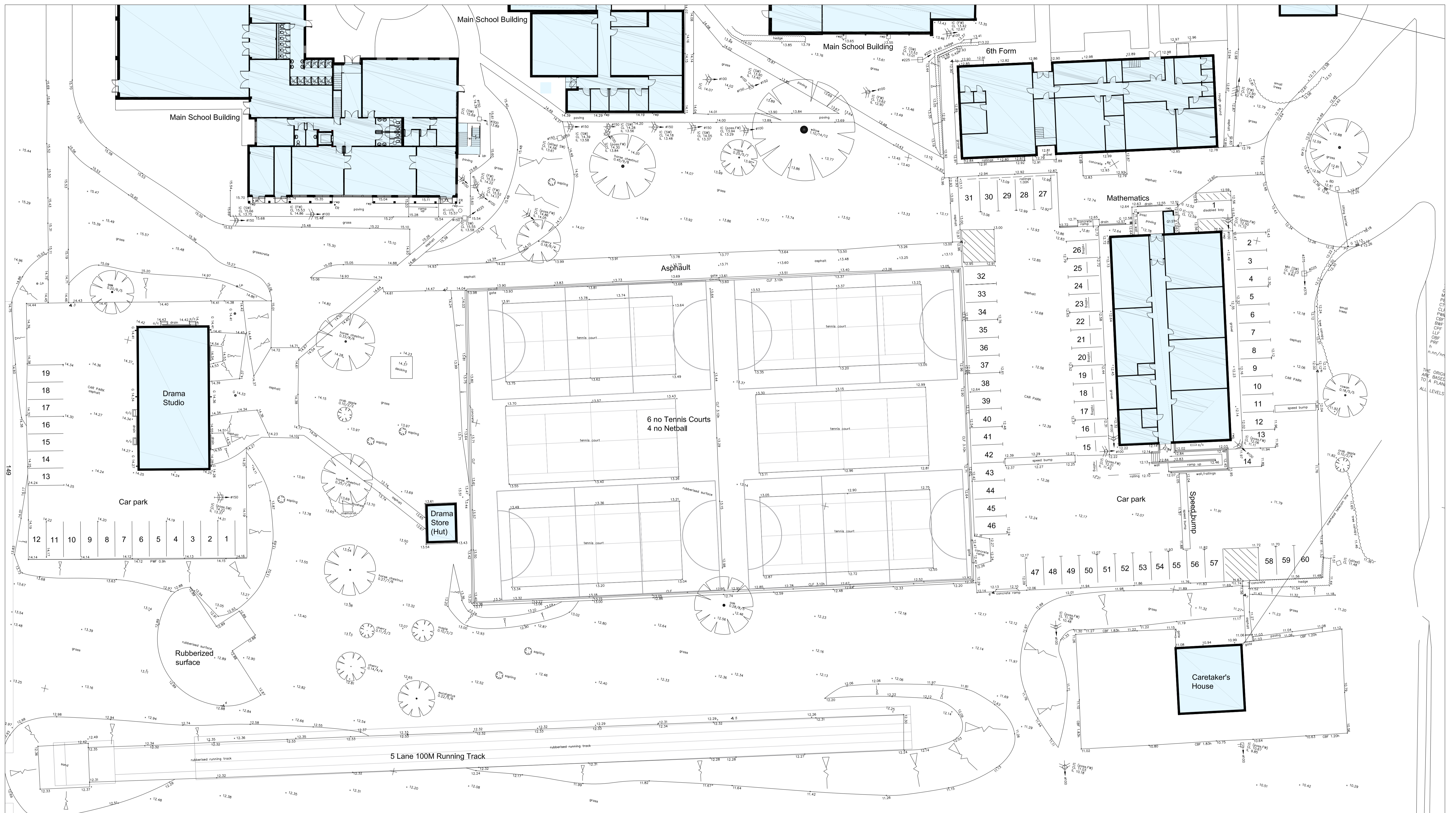


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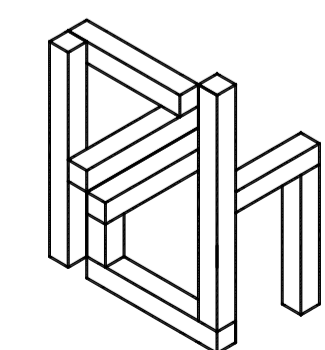
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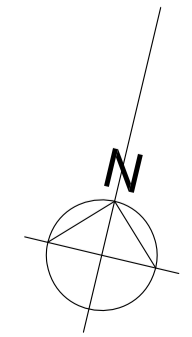
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- 1 14/11/2016 Added the Hut into store description, moved structures labels.
- 0 17/10/2016 Draft Issue.

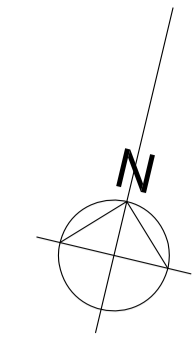
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MATHEMATICS AREA CARPARKING ANALYSIS
47no of normal parking spaces
12no with railings in the middle of each parking space
1no for disabled

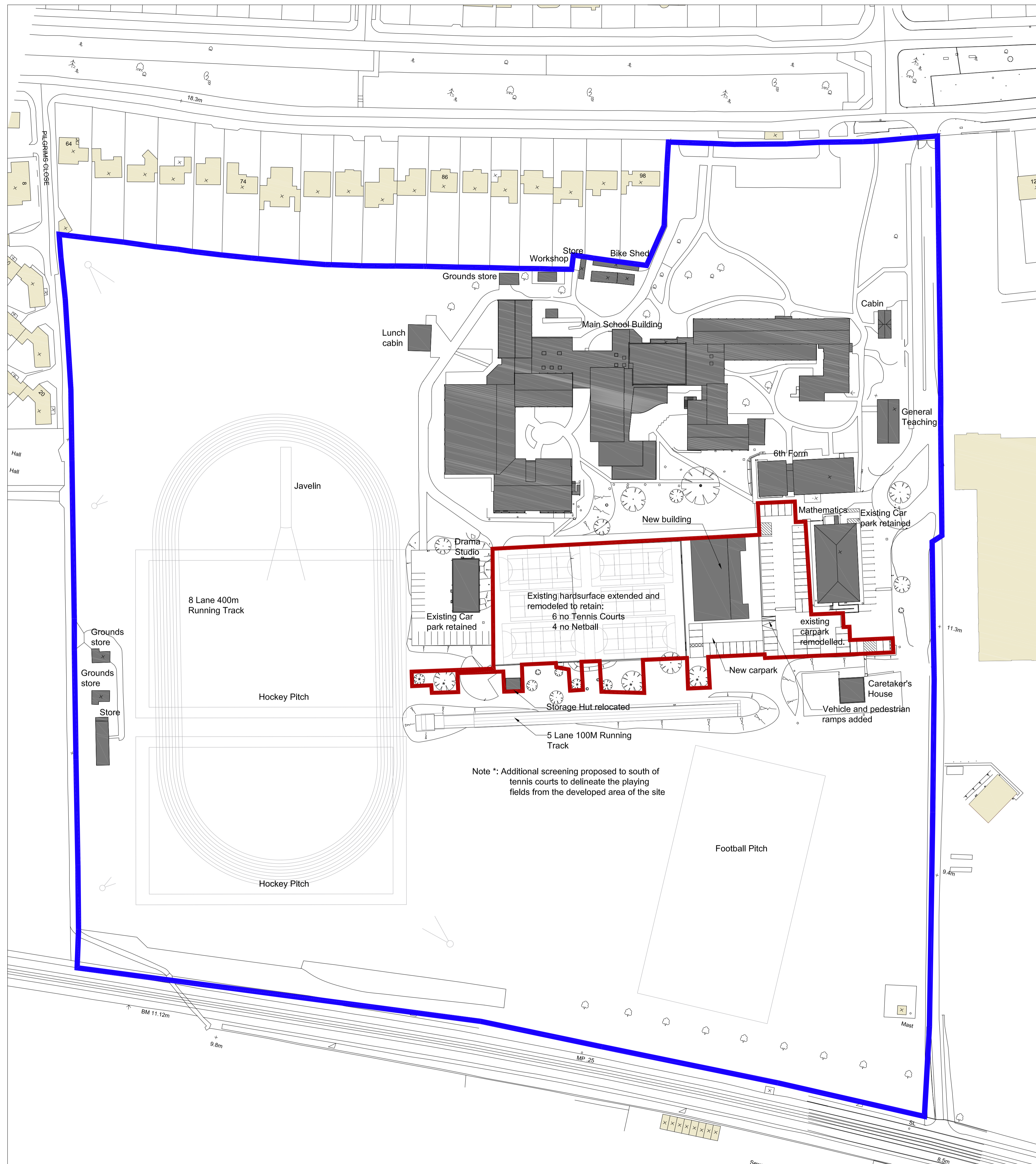
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Note *: Additional screening proposed to south of tennis courts to delineate the playing fields from the developed area of the site

- KEY**
- Application site
 - School site boundary

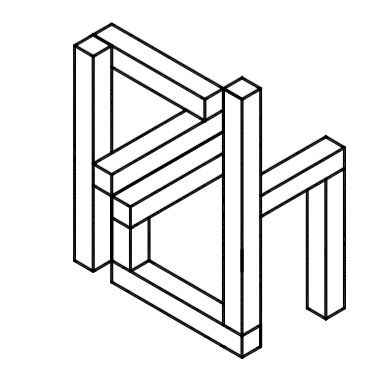
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FOR GIRLS

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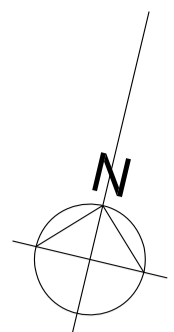
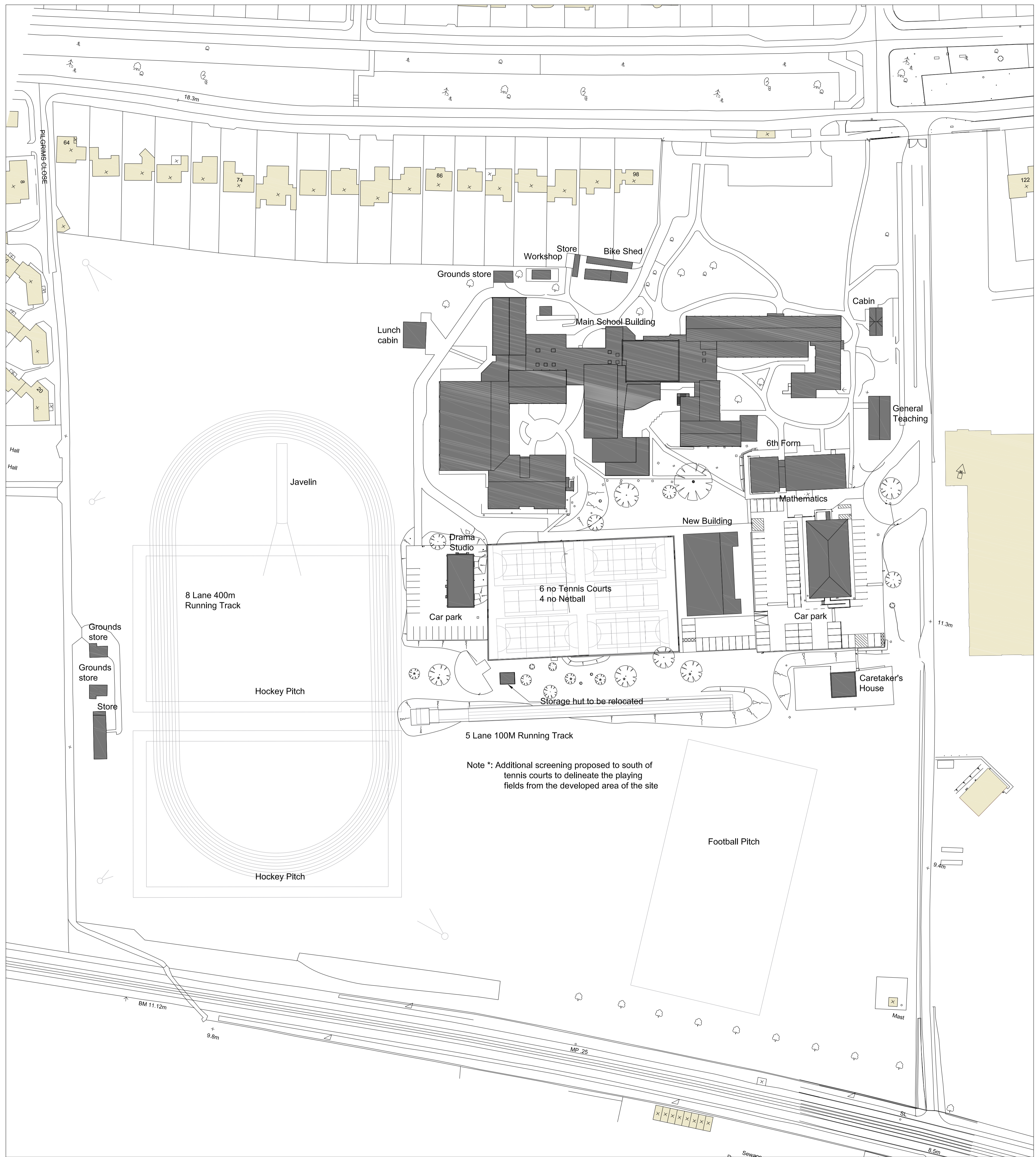
LOCATION PLAN
 PROPOSED



PCH
 ASSOCIATES
 LTD
 01638 667676
 www.pchassociates.co.uk
 info@pchassociates.co.uk

14/11/2016 PR
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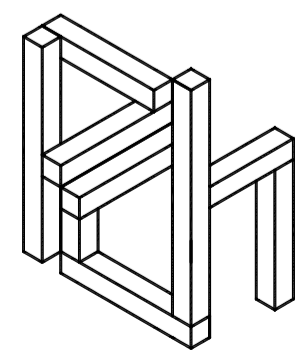
1	14/11/2016	Added trees, relocated storage hut.
0	17/10/2016	Draft Issue.

Rev Date: Notes:
 REVISION HISTORY

FACULTY STRUCTURE
 at
SOUTHEND HIGH SCHOOL
FOR GIRLS

THE GOVERNORS

OS/SITEPLAN
PROPOSED NEW BUILDING



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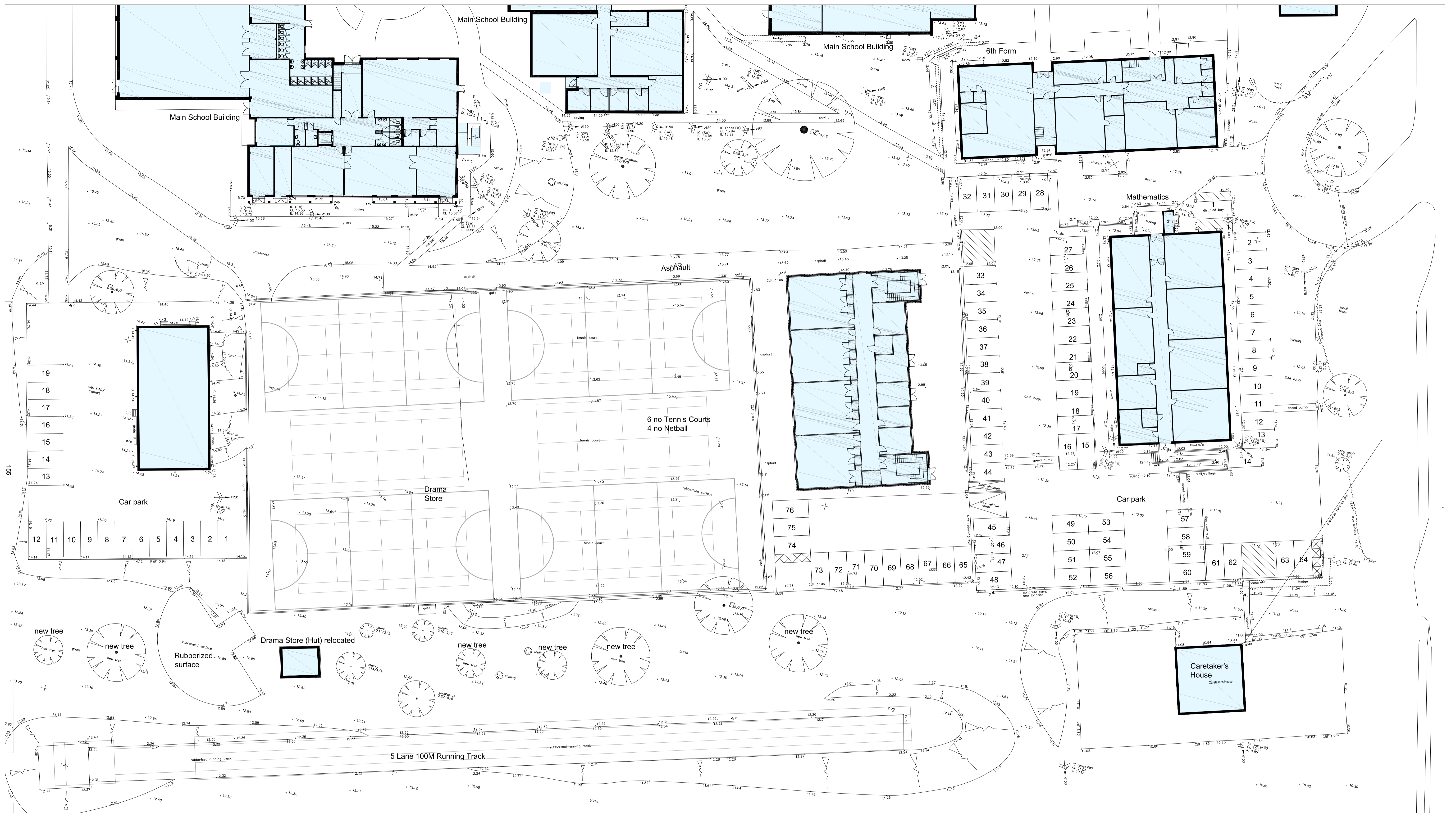
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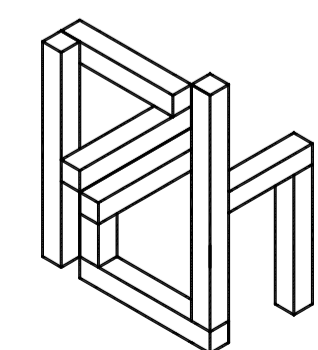
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FACULTY STRUCTURE
at
SOUTHEND HIGH SCHOOL
FOR GIRLS

THE GOVERNORS

SITEPLAN - PROPOSED
GROUND FLOOR LEVEL



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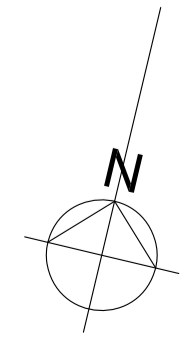
188-3_PL_004.R1

- 1 14/11/2016 Added relocated hut/ new trees.
- 0 17/10/2016 Draft Issue.

Rev Date: Notes:
REVISION HISTORY

MATHEMATICS AREA CARPARKING ANALYSIS
73no of normal parking spaces
3no for disabled
A total increase of 16no of parking spaces

ALL WORKING DIMENSIONS TO BE CHECKED ON SITE.
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Reference:	16/01497/FUL
Ward:	Leigh
Proposal:	Change of use of first floor from offices (Class 2) to restaurant (Class A3) and ground floor restaurant (Class A3) to Bar/Restaurant (Mixed use Class A3/A4), erect single storey extension and external staircase at rear, install replacement shopfront at ground floor, alter existing extraction duct and alter elevations
Address:	149 Leigh Road, Leigh-On-Sea, Essex, SS9 1JF
Applicant:	Mr A. Artemi, The Vine
Agent:	Mr A. Merry, Design Associates
Consultation Expiry:	15.12.16
Expiry Date:	16.01.17
Case Officer:	Louise Cook/ Anna Tastsoglou
Plan numbers:	01 Rev B, 03 Rev F, 04
Recommendation:	REFUSE PLANNING PERMISSION



1 The Proposal

- 1.1 Planning permission is sought to change the use of the first floor of the building from offices (Class A2) to restaurant (Class A3) and the ground floor restaurant (Class A3) to Bar/Restaurant (Mixed use Class A3/A4 and so 'sui generis'), erect a single storey extension and external staircase at rear, install a replacement shopfront at ground floor, to alter the existing extraction duct and to alter the elevations.
- 1.2 The existing entrance to the building would be altered to allow for a widened staircase to the first floor but would remain in a similar position to the existing. The existing sliding and folding doors on the front elevation would be replaced with new stained timber units.
- 1.3 The upper floor of the building would be converted from offices to a new kitchen (33sq.m) and restaurant area (114sq.m) which would accommodate an additional 68 covers together with new toilets and bar area. The ground floor bar area would cover an area of approximately 160sqm.
- 1.4 The proposed development is CIL liable.
- 1.5 No details of opening hours have been submitted with the application.
- 1.6 It should be noted that during the course of the application, it was found that the ground floor was unlawfully used as bar/restaurant (the authorised use is as a restaurant – Ref. No.: 86/1423) and therefore, the applicant sought to regularise the use of the premises together with his application to convert the upper floor to a restaurant.

2 Site and Surroundings

- 2.1 The site is located on the northern side of Leigh Road between its junctions with Cliffsea Grove and Lord Roberts Avenue. Leigh Road is predominantly commercial in character. The property forms part of the Leigh District Centre and a Secondary Shopping parade.
- 2.2 The site is occupied by The Vine restaurant and bar at ground floor and the upper floor is used as solicitors' offices.
- 2.3 Leigh Road is predominantly characterised by two storey terrace buildings with retail units at ground floor with office space/residential flats above.
- 2.4 Lord Roberts Avenue is predominantly a residential road characterised by traditional dwellinghouses.
- 2.5 Parking on the road is restricted to maximum of two hours Monday to Saturday between 9.00 and 18.00 hours.

3 Planning Considerations

- 3.1 The main considerations of this application are the principle of the development, design and the impact on the streetscene, any impact on neighbouring occupiers, traffic and transportation and developer contributions.

4 Appraisal

Principle of Development

National Planning Policy Framework 2012, Core Strategy Policies KP2 and CP4, Development Management DPD Policies DM1, DM11 and DM13 and SPD1

- 4.1 Policy DM11 of the Development Management Document states that outside Employment Areas, proposals for alternative uses on site used (or last used) for employment purposes, including sites for sui-generis uses of an employment nature, will only be permitted where it can be demonstrated that it will no longer be effective or viable to accommodate the continued use of the site for employment purposes. Whilst the proposed development would result in loss of an office (Class A2) and 8 full time employees, the proposed expansion of the restaurant will in an additional to 17 full-time employees.
- 4.2 The site is located within a Secondary Shopping Frontage and it is therefore relevant to note the content of policy DM13 of the Development Management DPD which states that *“Primary and secondary shopping frontages within Southend will be managed to reinforce their attractiveness, vitality and viability within the daytime and night-time economies. The character and function of both types of frontage will be protected and enhanced.”* It also states that *“All developments in the secondary shopping frontage, as defined on the Policies Map, must maintain or provide an active frontage with a display function for goods and services rendered and the proposed use will provide a direct service to visiting members of the general public.”*
- 4.3 The ground floor has a lawful use to operate as a restaurant. The proposed development will continue to provide an active frontage and will not affect the attractiveness, vitality and viability of the secondary shopping frontage. Therefore, subject to other considerations below, no objection is raised in principle to the use of the ground floor as a mixed use restaurant and bar.
- 4.4 Therefore, in this instance it is considered that the principle of development is acceptable subject to the considerations detailed below being satisfactorily addressed.

Design and Impact on the Streetscene

National Planning Policy Framework; DPD1 (Core Strategy) Policies KP2, CP4; Development Management Document Policies DM1 and DM3 and the Design and Townscape Guide SPD1 (2009)

- 4.5 It should be noted that good design is a fundamental requirement of new development to achieve high quality living environments.

Its importance is reflected in the NPPF, in Policy DM1 of the Development Management DPD and in the Policies KP2 and CP4 of the Core Strategy. The Design and Townscape Guide (SPD1) also states that *“the Borough Council is committed to good design and will seek to create attractive, high-quality living environments.”*

- 4.6 In the NPPF it is stated that *“good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.”*
- 4.7 In the Council’s Development Management DPD, policy DM1 states that development should *“add to the overall quality of the area and respect the character of the site, its local context and surroundings in terms of its architectural approach, height, size, scale, form, massing, density, layout, proportions, materials, townscape and/or landscape setting, use, and detailed design features.”*
- 4.8 Policy KP2 of Core Strategy (CS) states that new development should *“respect the character and scale of the existing neighbourhood where appropriate”*. Policy CP4 of CS requires that development proposals should *“maintain and enhance the amenities, appeal and character of residential areas, securing good relationships with existing development, and respecting the scale and nature of that development”*.
- 4.9 The proposed shopfront will replace the existing plastic foliage with timber bi-folding doors. It is considered that this would be an improvement over the existing shopfront and there are no objections to its design and appearance in the streetscene.
- 4.10 The rear of the building will be altered by reducing the length of the existing extract flue and removing some of the first floor windows and providing a replacement fire exit and staircase. Whilst this would result in a rather blank façade, this is not a street frontage and views of this are less prominent.
- 4.11 Therefore, in light of the above, it is not considered that the proposed development would be detrimental to the character and appearance of the existing building and wider streetscene and satisfies the policies set out above.

Impact on Neighbouring Occupiers

National Planning Policy Framework; DPD1 (Core Strategy) Policies KP2 and CP4; Development Management Document Policy DM1, and the Design and Townscape Guide SPD1

- 4.12 The proposal is considered in the context of Policy CP4 of the Core Strategy (DPD1) which requires all development within residential streets to be appropriate in its setting by respecting neighbouring development, existing residential amenities and overall character of the locality.
- 4.13 Policy DM1 of the Development Management Document states that *“in order to reinforce local distinctiveness all development should... protect the amenity of the site, immediate neighbours, and surrounding area, having regard to privacy, overlooking, outlook, noise and disturbance, visual enclosure, pollution, and daylight and sunlight...”*

- 4.14 The site is located within an area of mixed residential and commercial uses, with a mixture of flats and offices above the adjacent Leigh Road shops. Lord Roberts Avenue to the north of the site is predominantly residential in character. Leigh Road is an intensively used road and it is known that the secondary shopping area has an active evening economy with restaurants and bars which represent an existing noise source.
- 4.15 The objections that have been raised by neighbouring residents are noted and it is acknowledged that the character and use of properties within Leigh Road and Lord Roberts Avenue are materially different to Leigh Road and as such the background noise level of the area is likely to be lower. It is noted that both The Vine and nearby Tigerlily have been the subject of noise complaints from nearby residents and that both of these properties were approved as restaurants. There is concern that the substantial increase in the potential number of customers to the premises would serve to exacerbate the levels of noise generated from the site. No management plan or noise assessment has been provided to the Local Planning Authority. In the absence of such evidence from the applicant to demonstrate that the proposed development would not give rise to undue noise and disturbance to neighbouring occupiers and taking into account the noise complaints that the Council has received, it is considered that the applicant has failed to demonstrate that the proposed change of use could be operated at this site without causing material harm to the amenities of nearby residential properties, contrary to the policies set out above.
- 4.16 Concern has been raised by the Council's Environmental Health Team in respect of the poor condition of the existing ventilation system. The existing extract system will be retained with only the length of the external flue shortened and the applicant has failed to submit details of the revised ducting. Given the enlargement of the proposed kitchen and numbers of covers, the applicant has failed to demonstrate that the extract and ventilation system would be adequate to prevent the spread of noise and odours which would otherwise be detrimental to the amenities of local residents and the environmental quality of the local area, contrary to policy.
- 4.17 Should permission be granted, a condition would have been imposed to ensure that the rear door and staircase is used as a fire escape only. Given the position of the fire escape, it is not considered that it would give rise to overlooking or loss of privacy neighbours at 7 Lord Roberts Avenue which has no flank windows facing the application site.
- 4.18 The proposed replacement bi-folding doors to the shopfront may result in additional noise generation from the premises. A condition restricting the opening hours would have been imposed, should permission be granted.
- 4.19 It is also noted that the proposal may lead to the need of more frequent deliveries and collection, which they have already been the reason of neighbours' complaints. Should permission be granted, a condition to secure the delivery/collection hours would have been imposed.

Traffic and Transportation

National Planning Policy Framework; DPD1 (Core Strategy) Policies KP2, CP4, CP3; Policy DM15 of the Development Management Document, the Design and Townscape Guide SPD1

- 4.20 Policy DM15 of the Development Management Document requires a maximum 1 space per 20sq.m for office (Class A2 use) and 1 space per 5sq.m for restaurants (Class A3) and bar (Class A4) uses. There appears to be no off-street parking for either the existing or proposed use. Therefore, the existing 191sq.m of first floor office floorspace would have led to a maximum parking requirement for of 10 spaces and the proposed use would lead to a maximum parking requirement for of 23 spaces, an increase of 13 spaces.
- 4.21 Whilst it is noted that the site is located within a relatively sustainable location in terms of access to public transport, there is considerable parking stress in the local area, particularly in the adjacent residential streets. The applicant has failed to demonstrate that there is sufficient on-street parking available for customers and staff. It is considered that the proposed development by virtue of the increased parking demand to serve customers and staff would exacerbate existing on-street parking stress, to the detriment of highway safety and efficiency, contrary to the policies set out above.
- 4.22 It is considered that suitable refuse storage can be provided to the rear of the site and further details can be required by condition should planning permission be granted. It is understood that waste is currently collected by private contractor.
- 4.23 No cycle parking has been shown to be provided on site and one additional cycle parking space would be required for the converted upper floor to a restaurant (a total of 4 cycle parking spaces instead of the 3 currently required for the A2 use). The change of use of the ground floor would not alter the cycle parking requirements. There is an area at the back of the property which can be used as cycle parking. Should permission be granted, provision of cycle parking would have been agreed by condition.

Developer Contributions

National Planning Policy Framework; Community Infrastructure Levy Charging Schedule

- 4.24 This application is CIL liable. If the application had been recommended for approval, a CIL charge would have been payable. If an appeal is lodged and allowed the development will be CIL liable. Any revised application would also be CIL liable.

Conclusion

- 4.25 There is no objection in principle to the loss of the existing office use to a mixed A3/A4 use at the site; however, the proposal would result in increased levels of activity and associated noise and the site has already been the subject of noise complaints and no evidence has been submitted demonstrating that the proposed expanded use and extraction system would not result in a further detrimental impact on the amenity of the nearby residential occupants in terms of undue noise levels and resulting disturbance and in additional odours. The proposal would also increase parking demand for customers and staff and no parking is provided on site. This is considered to exacerbate the existing on-street parking stress.

5 Planning Policy Summary

- 5.1 National Planning Policy Framework, 2012.
- 5.2 Development Plan Document 1: Core Strategy Policies KP1 (Spatial Strategy), KP2 (Development Principles), CP3 (Transport and Accessibility), CP4 (The Environment and Urban Renaissance).
- 5.3 Development Management Document DPD Policies DM1 (Design Quality), DM3 (Efficient and Effective Use of Land), DM11 (Employment Areas), DM13 (Shopping Frontage Management outside the Town Centre) and DM15 (Sustainable Transport Management).
- 5.4 Design and Townscape Guide Supplementary Planning Document 1 (2009) (SPD1).
- 5.5 The Community Infrastructure Level Regulations (as amended) and The Community Infrastructure Levy Charging Schedule, 2015.

6 Relevant Planning History

- 6.1 16/02122/FUL - Change of use of first floor from offices (Class A2) to restaurant (Class A3) and ground floor restaurant (Class A3) to Bar/Restaurant (Mixed use Class A3/A4), erect single storey extension and external staircase at rear, install replacement shopfront at ground floor, alter existing extraction duct and alter elevations. Application withdrawn.
- 6.2 16/01684/FUL: Replace windows to front at first floor – Refused.
- 6.3 16/01645/FUL: Erect second floor to provide two self-contained flats, erect three storey rear extension, ground floor parking, refuse store and Juliette balconies to rear elevation and terraced area to front and side (147 - 149 Leigh Road) (Amended Proposal) – Pending consideration.
- 6.4 15/01411/FUL: Erect second floor to provide one self-contained flat, erect three storey rear extension, ground floor parking, refuse store and cycle store and Juliette balconies to rear elevation and terraced area to front and side (amended proposal) – Refused.

- 6.5 14/01082/FUL: Erect new second floor to provide two self-contained flats, erect three storey rear extension incorporating self-contained flat, ground floor parking, refuse store and cycle store and Juliette balconies to rear elevation – Refused.
- 6.6 14/00944/FUL: Clad shopfront surround with plastic foliage (Retrospective) – Refused.
- 6.7 10/01303/FUL: Erect toilet and covered walkway at rear – Approved.
- 6.8 06/00182/FUL: Retain storage container to rear (Retrospective) – Refused.
- 6.9 05/01223/ADV: Retention of halo illuminated lettering to front elevation (Retrospective) – Granted.
- 6.10 05/01158/FUL: Retention of new shopfront (Retrospective) – Approved.
- 6.11 05/00604/FUL: Erect ground floor extension at rear and install new shopfront (amended proposal) – Approved.
- 6.12 04/01859/FUL: Erect ground floor extension at rear and install new shopfront – Approved.
- 6.13 86/1423: Use shop as restaurant and install new shopfront – Approved.
- 6.14 86/0082: Erect 2nd floor extension to provide additional office accommodation and erect new external staircase at rear – Approved.

7 Representation Summary

Highways

- 7.1 Consideration has been given to the application with regard to the change of use from office to restaurant and bar. Due to the increase in potential vehicle movements associated with the proposal, it is considered that the proposed development would have a detrimental impact on the surrounding area given that it suffers from considerable parking stress. Therefore, a highway objection is raised.

Environmental Health

- 7.2 There are no details in respect of the ventilation extraction system or any ancillary plant which will be installed at the premises. The existing ventilation system at ground floor level is not considered to be in a good condition but there is no detail on the plans/submitted document in respect of the use of a new fan. In any case, any fan altered/moved or provided new must not lead to structure borne noise and should be suitably mounted to ensure isolation from the structure.
- 7.3 The extension of the business is likely to lead to increased use of the restaurant area as it is now fully segregated. The intensification of the site is likely to lead to more frequent deliveries and collection from the site which has been the source of complaint previously. Conditions are recommended.

- 7.4 The Environmental Protection team has, over several years, received complaints from nearby residents regarding noise attributed to the operation of the premises arising from the playing of music and the behaviour of patrons outside. There is concern that any increase in the number of patrons could serve to exacerbate the levels of noise generated with a resultant increase in the number of complaints.

Design

- 7.5 It is proposed to replace the existing plastic foliage with stained timber bi-folding doors, matching shopfront entrance and a new non-illuminated fascia. It is considered that this would be an improvement and this element of the proposal is welcomed.
- 7.6 No changes are proposed to the first floor front where the new restaurant would be located. The existing windows at this level are rather poorly proportioned and it is considered that the proposed change of use could be an opportunity to enhance the frontage with a change of fenestration which would be more appropriate for the use and for the streetscene generally.
- 7.7 The only other changes are to the rear where it is proposed to remove almost all the openings at first floor. This will result in a rather blank façade here however, this is not a street frontage and views of this side are less prominent.

Leigh Town Council

- 7.8 No objection.

Public Consultation

- 7.9 Neighbours notified and a site notice displayed. 12 letters of representation have been received, 11 of which object to the proposed development on the following grounds:
- Additional noise, disturbance and anti-social behaviour.
 - Exacerbate existing parking problems.
 - No taxi dropping off point so detrimental to highway safety.
 - There is no designated smoking area.
 - Increase in litter on the pavements.
 - Customers obstruct the footway.
 - Losing office spaces loses office workers, reducing daytime footfall on the street, detrimental to the shopping parade.
 - The proposal would increase the demand for parking for deliveries and customers.
 - Detrimental to the quality of life for neighbouring occupiers.
 - Request made that suitable sound insulation to be provided on party wall.
- 7.10 The application has been called into the Development Control Committee by Cllr Mulroney. Notwithstanding this, the applicant's wife works for Southend Borough Council and therefore the application falls to be considered by the Committee.

8 Recommendation

Members are recommended to REFUSE PLANNING PERMISSION for the following reasons:

01. The Council has received a number of noise complaints in relation to the current use of the premises and the applicant has failed to provide satisfactory evidence to demonstrate that the proposed development (including the existing ground floor bar/restaurant) would not give rise to further undue noise and disturbance to neighbouring occupiers, to the detriment of the amenities thereof. The proposal is therefore unacceptable and contrary to the National Planning Policy Framework; DPD1 (Core Strategy) Policies KP2 and CP4; Development Management Document Policy DM1, and the Design and Townscape Guide SPD1.

02. The existing extract and ventilation system, by reason of the enlarged kitchen and increased number of covers would be inadequately to prevent the spread of noise and odours. This would be detrimental to the amenities of local residents and the environmental quality of the local area, contrary to the National Planning Policy Framework; DPD1 (Core Strategy) Policies KP2 and CP4; Development Management Document Policy DM1, and the Design and Townscape Guide SPD1.

03. The proposed development by virtue of the increased parking demand would exacerbate existing on-street parking stress, to the detriment of highway safety and efficiency, contrary to the National Planning Policy Framework; DPD1 (Core Strategy) Policies KP2, CP4, CP3; Policy DM15 of the Development Management Document, the Design and Townscape Guide SPD1.

The Local Planning Authority has acted positively and proactively in determining this application by identifying matters of concern with the proposal and determining the application within a timely manner, clearly setting out the reason(s) for refusal, allowing the Applicant the opportunity to consider the harm caused and whether or not it can be remedied by a revision to the proposal. The detailed analysis is set out in a report prepared by officers. In the circumstances the proposal is not considered to be sustainable development. The Local Planning Authority is willing to discuss the best course of action and is also willing to provide pre-application advice in respect of any future application for a revised development, should the applicant wish to exercise this option in accordance with the Council's pre-application advice service.

Informatives

01. Please note that this application would be liable for a payment under the Community Infrastructure Levy Regulations 2010 (as amended) if planning permission had been granted. Therefore if an appeal is lodged and subsequently allowed, the CIL liability will be applied. Any revised application would also be CIL liable.

2. The applicant is reminded that this permission does not bestow compliance with the Food Safety and Hygiene (England) Regulations 2013 or any other provision so enacted, such as those located within the Food Safety Act 1990. Applicants should contact the Council's Environmental Health Officer for more advice on 01702 215005 or at Regulatory Services Department, Southend-on-Sea Borough Council, Civic Centre, Victoria Avenue, Southend SS2 6ZG.

3. For further guidance on the control of odour and noise from ventilation systems you are advised to have regard to – Guidance on the Control of Odour and Noise from Commercial Kitchen Exhaust Systems published by DEFRA. This can be downloaded free from www.DEFRA.Gov.UK

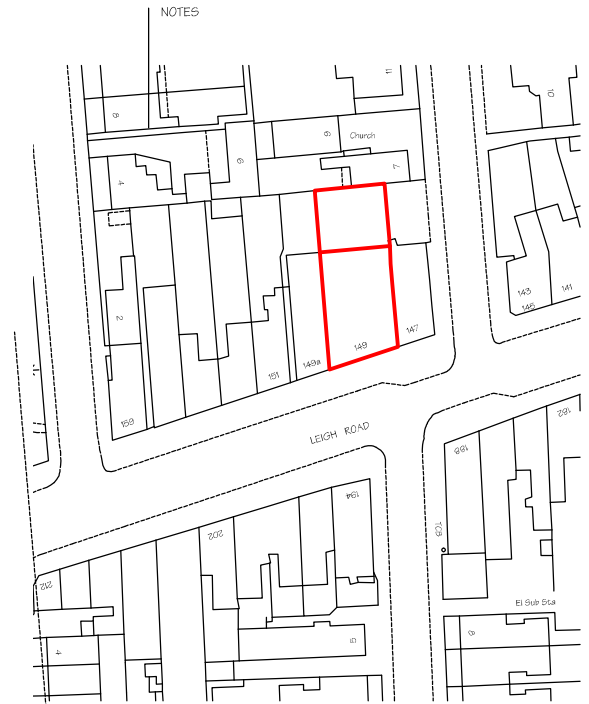
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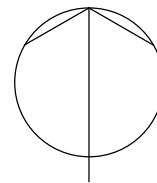
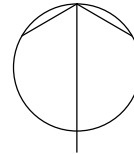


SITE PLAN SCALE 1/200



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LOCATION PLAN - SCALE 1/1250



REV	DATE	DESCRIPTION

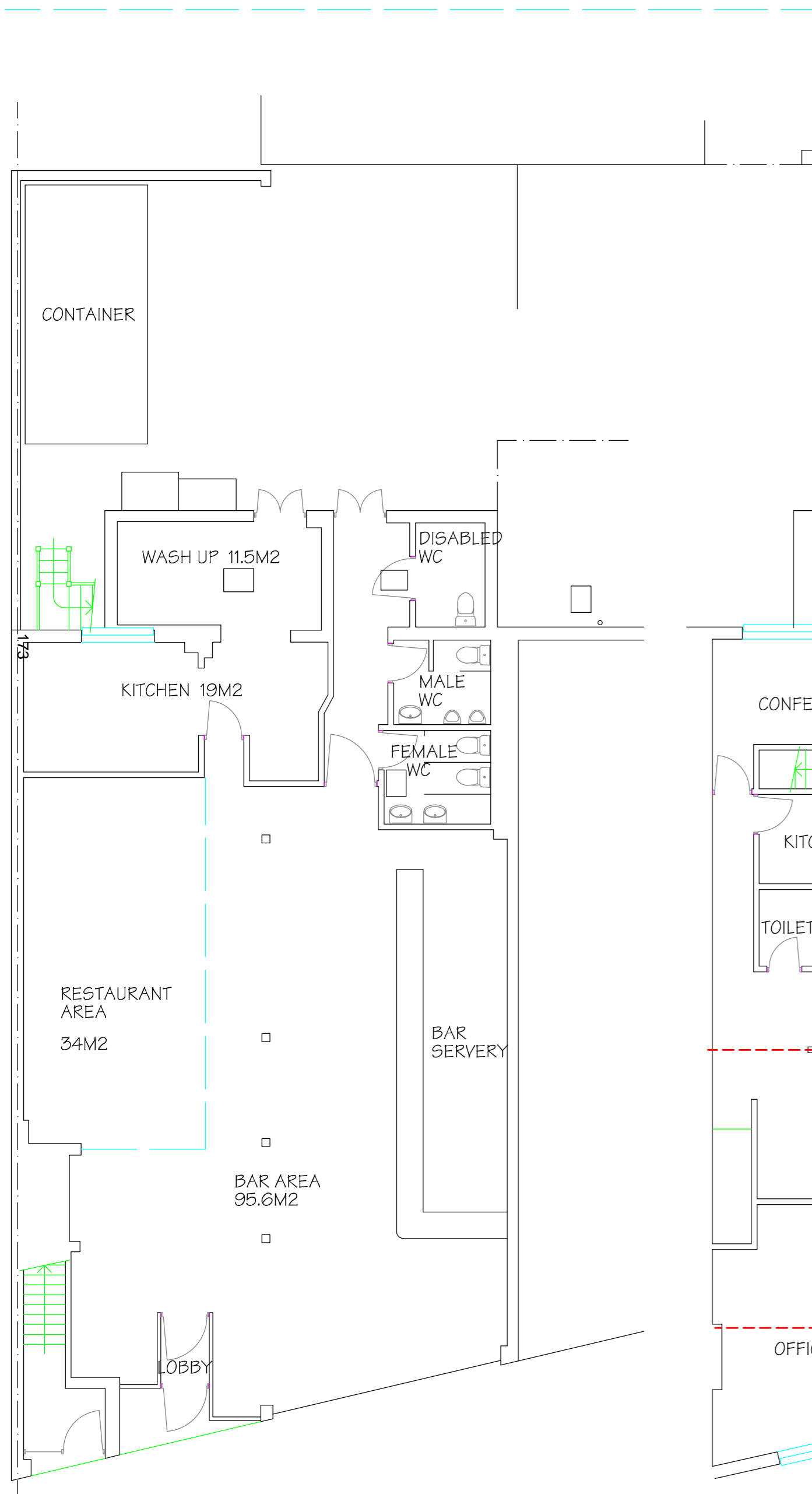
THE VINE RESTAURANT
 149 LEIGH ROAD - LEIGH ON SEA
 PROJECT
 TITLE
 SITE + LOCATION PLANS

JOB NUMBER | DRAWING NUMBER | REVISION | DATE | 29/07/2016
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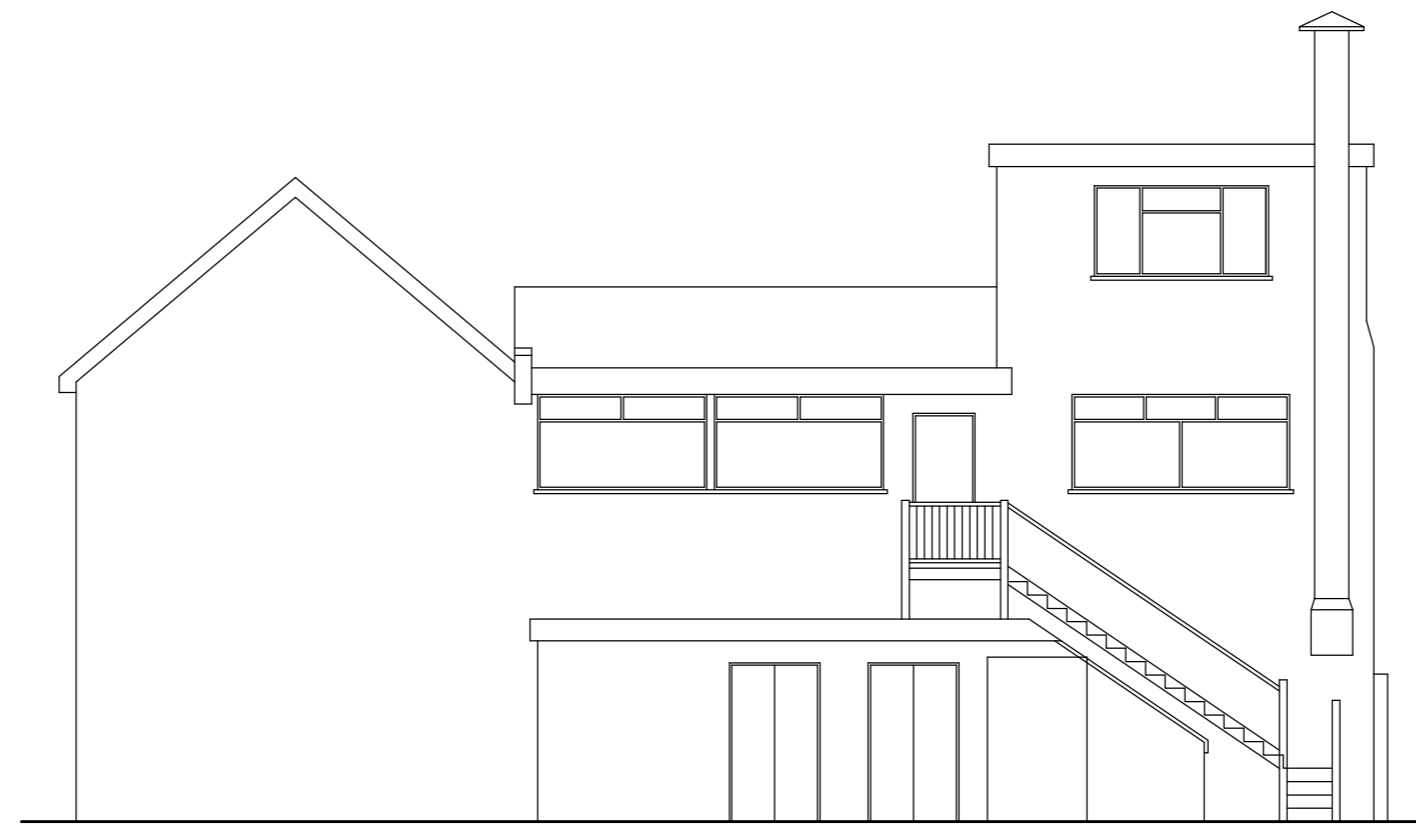
Design Associates

ARCHITECTURAL DESIGN - SPACE PLANNING - PROJECT MANAGEMENT
 92 LONDON ROAD - SOUTHEND ON SEA - ES56EX - SS1 1FG
 TELEPHONE - 01702 392302
 EMAIL - toymerry@aol.com

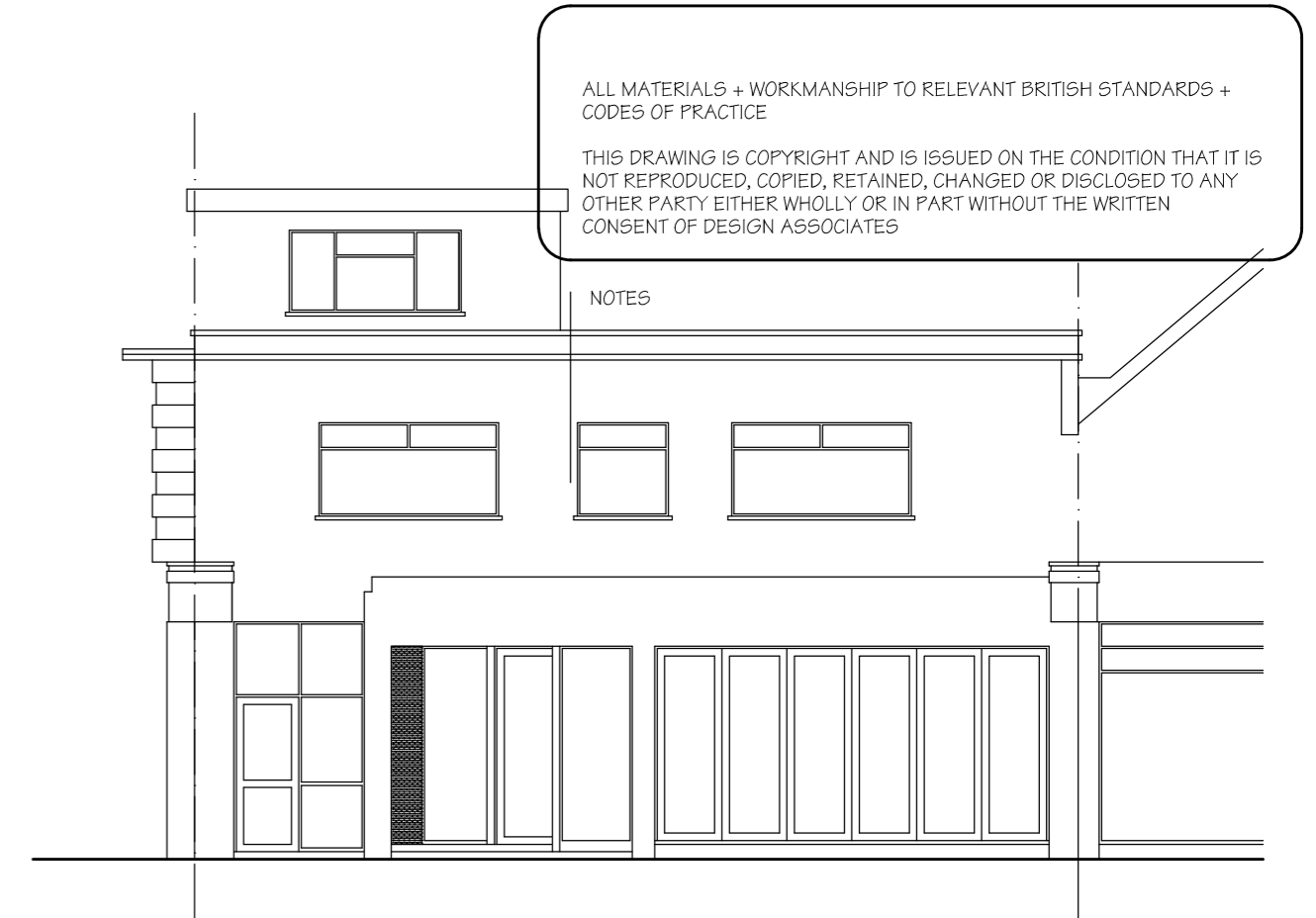
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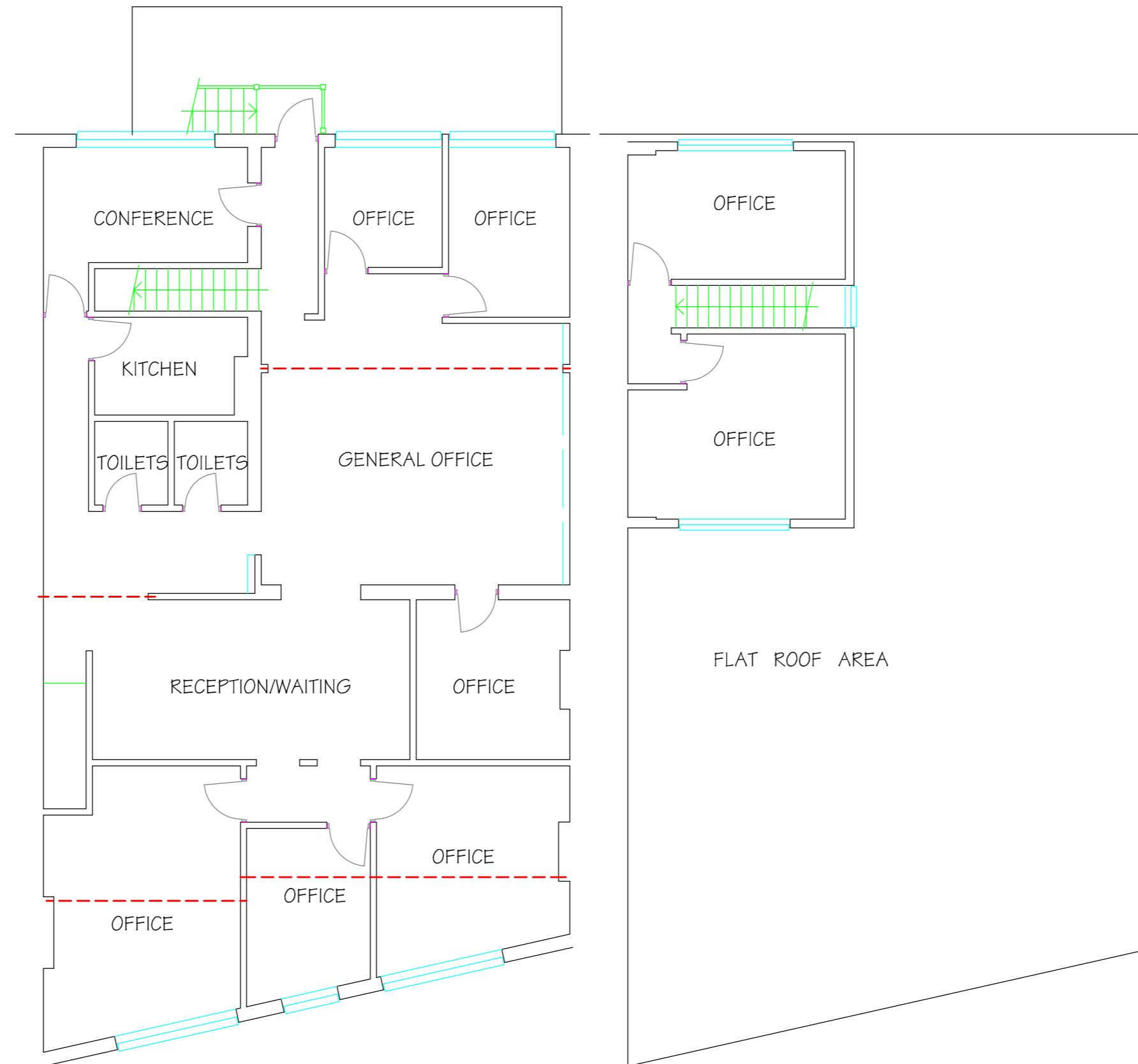
EXISTING GROUND FLOOR PLAN



EXISTING REAR ELEVATION

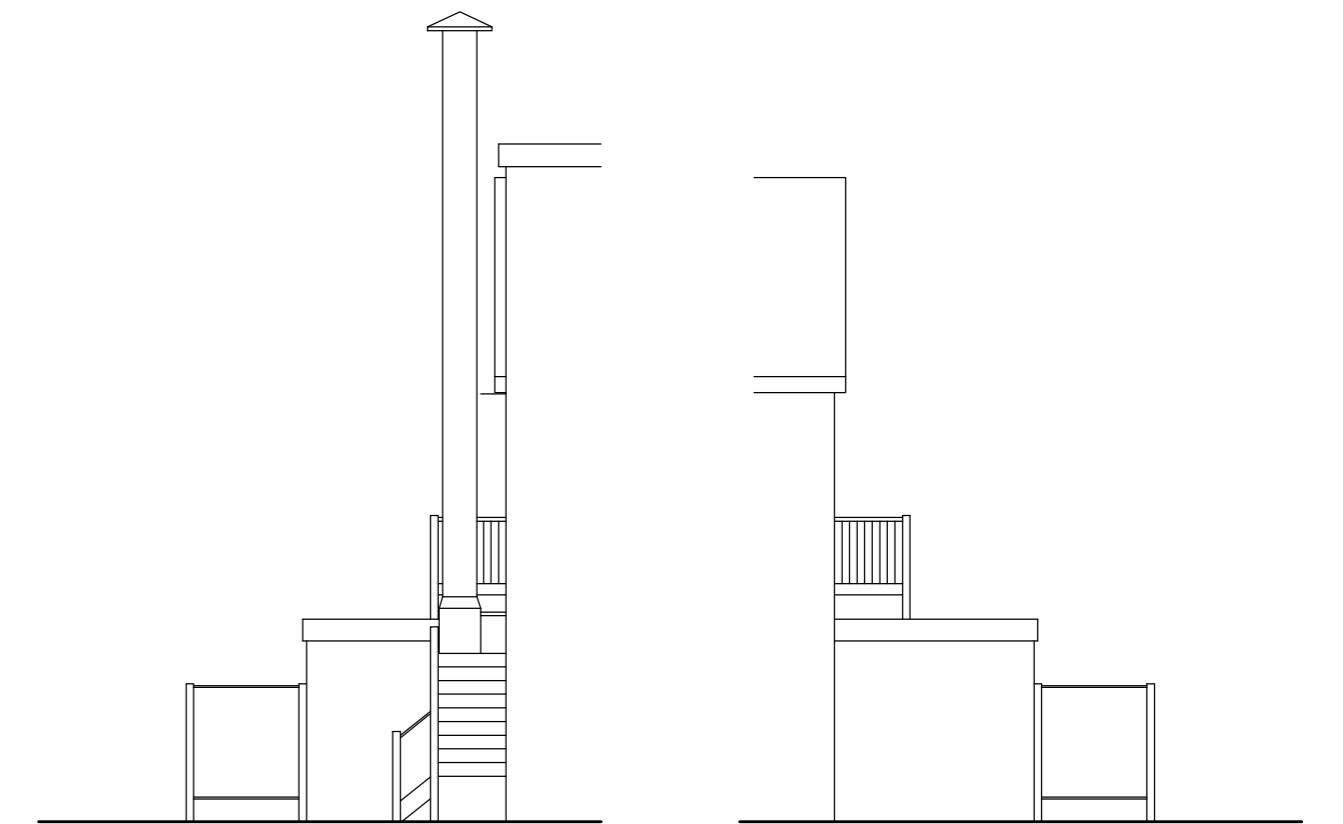


EXISTING FRONT FRONT ELEVATION



EXISTING FIRST FLOOR PLAN

EXISTING SECOND FLOOR PLAN



PART SIDE ELEVATION - WEST

PART SIDE ELEVATION - EAST

REV	DATE	DESCRIPTION
B	AUG 2016	FRONT WINDOWS ADJUSTED
A	JUN 2016	UPPER FLOORS ADDED

149 LEIGH ROAD LEIGH ON SEA
 THE VINE
 PROJECT
 TITLE
 PLANS AND ELEVATIONS AS EXISTING

JOB NUMBER	DRAWING NUMBER	REVISION	DATE
91258	01	B	17/11/2015

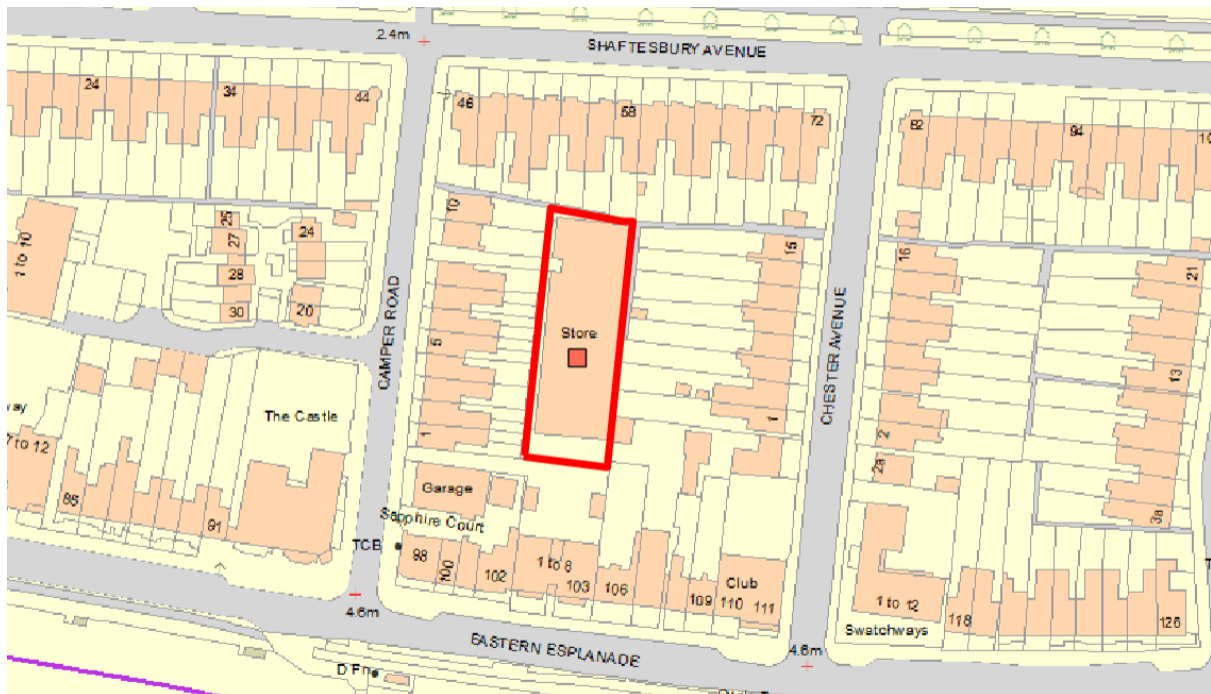
SCALE 1/100

Design Associates
 ARCHITECTURAL DESIGN - SPACE PLANNING - PROJECT MANAGEMENT
 92 LONDON ROAD - SOUTHEND ON SEA - ESSEX - SS1 1PG
 PHONE - 01702 392302
 EMAIL : tonymerry@aol.com

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Reference:	16/01901/FUL
Ward:	Thorpe
Proposal:	Erect two storey side extension to form terraced house and layout parking
Address:	1 Mayfair Place, Southend-On-Sea, Essex, SS1 2FR
Applicant:	Stockvale Properties Limited
Agent:	SKArchitects
Consultation Expiry:	22.12.2017
Expiry Date:	02.02.2017
Case Officer:	Janine Rowley
Plan Nos:	P01 Revision C; P04; P10
Recommendation:	REFUSE PLANNING PERMISSION

9



1 The Proposal

- 1.1 Planning permission is sought to erect a two storey side extension to form a one bedroom terraced house and layout parking and amenity area.
- 1.2 The proposed dwelling is 4m wide x 8.8m deep x 8.2m high.
- 1.3 The internal floorspace equates to 62.5sqm and the internal layout will include a living room, kitchen and wc to the ground floor and a bedroom, study and bathroom to the first floor.
- 1.4 One parking space is proposed to the south together with a private amenity area of 36sqm.
- 1.5 The existing development allowed at appeal (reference app/2164587) was for the redevelopment of the site for 5 two storey dwellinghouses with associated amenity and parking. All the dwellinghouses have been completed.
- 1.6 There is a concurrent planning application reference 16/02061/FUL to retain the existing parking layout constructed for the five existing dwellinghouses but this application has to be assessed independently.

2 Site and Surroundings

- 2.1 The site is occupied by five, two storey dwellinghouses with associated amenity space. The surrounding character is for a two storey properties to the north, east and west with larger flatted developments to the south.
- 2.2 To the north of the site are residential properties fronting Shaftesbury Avenue which have rear gardens backing onto the application site.
- 2.3 To the east and west of the site are residential properties fronting Chester Avenue and Camper Road whose rear gardens also back onto the application site.
- 2.4 To the south of the site is a shared right of way and access and beyond this is Thorpe Lodge which contains flats.
- 2.5 The area is generally residential in character, with some commercial uses fronting Eastern Esplanade.
- 2.6 The site is located within flood zone 3a (high probability of flooding).

3 Planning Considerations

- 3.1 The main considerations of this application are the principle of the development, design, traffic and transportation and impact on residential amenity, flood risk sustainable construction and CIL chargeable.

4 Appraisal

Principle of Development

National Planning Policy Framework; DPD1 (Core Strategy) Policies KP1, KP2 and CP4; Development Management DPD2 policies DM1, DM6, DM3, DM7, and the Design and Townscape Guide SPD1 (2009).

- 4.1 Government guidance contained within the National Planning Policy Framework (NPPF) encourages effective use of land by re-using land that has been previously developed.
- 4.2 The site is situated on land currently to be used partly as communal amenity and car parking serving a recent housing development (11/00507/FUL), which has been completed and is now occupied. The applicant constructed the parking layout differently to the approved scheme and is currently seeking separate permission to retain the parking bays to the southern pair of semi-detached dwellings under application 16/02061/FUL.
- 4.3 Policy DM3 of the Development Management Document DPD2 states that the Council will seek to support development that is well designed and that seeks to optimise the use of land in a sustainable manner responding positively to the local context and not leading to over-intensification. Any infill development will be resisted if it creates a detrimental impact on the living conditions and amenity of existing and future residents or neighbouring residents, conflict with the character or grain of the local area, result in a contrived and unusable garden space for existing and proposed dwellings or result in the loss of local ecological assets.
- 4.4 Section 5.3 of the Design and Townscape Guide (SPD1) deals with infill development and it is stated:
- “The size of the site together with an analysis of local character and grain will determine whether these sites are suitable for development. In some cases the site may be too small or narrow to accommodate a completely new dwelling (including useable amenity space and parking) and trying to squeeze a house onto the site would significantly compromise its design quality and be detrimental to neighbouring properties and local character. Unless an exceptional design solution can be found, infill development will be considered acceptable”.*
- 4.5 Where such development is acceptable in principle, SPD1 states that it is important to draw strong references from surrounding buildings in terms of scale, frontage, materials and rhythm.
- 4.6 Each of the relevant points detailed in Policy DM3 of the Development Management Document DPD2 and the other relevant planning policies are discussed below. No objection is raised in principle to residential development in this location subject to the other detailed material planning considerations discussed in detail below.

Flood Risk

National Planning Policy Framework, Core Strategy Policy KP2

4.7 The site is located within Flood Zone 3a (high probability of flooding) and the applicant has submitted an FRA which considers risk of flooding, access and resilience measures.

4.8 Paragraph 103 of the NPPF states:

“When determining planning applications, local planning authorities should ensure flood risk is not increased elsewhere and only consider development appropriate in areas at risk of flooding where, informed by a site-specific flood risk assessment²⁰ following the Sequential Test, and if required the Exception Test, it can be demonstrated that:

- *within the site, the most vulnerable development is located in areas of lowest flood risk unless there are overriding reasons to prefer a different location; and*
- *development is appropriately flood resilient and resistant, including safe access and escape routes where required, and that any residual risk can be safely managed, including by emergency planning; and it gives priority to the use of sustainable drainage systems.”*

4.9 The proposed site falls within the Central Seafront Area under Policy KP1 of the adopted Core Strategy. This area is promoted as an area for regeneration and growth. The preamble to KP1 notes there are limited options to achieve regeneration and growth within the borough and that development on flood plains would be considered. Policy KP1 directs development into the area in which the site falls. This policy was adopted following The Thames Gateway South Essex Partnership Strategic Flood Risk Assessment. A total of 550 new dwellings have been earmarked for the seafront area between 2001-2021. It is considered further development in the central seafront area is acceptable in principle subject to a site specific investigation. The proposal is therefore considered to pass the requirements of the sequential test.

4.10 For the exceptions test to be passed it must be demonstrated that

- a) The development provides wider sustainability benefits to the community that outweigh flood risk
- b) The development should be on developable, previously developed land
- c) A flood risk assessment must demonstrate that the development will be safe, without increasing flood risk elsewhere, and where possible, will reduce flood risk overall.

4.11 The proposal would provide sustainability benefits by resulting in a more efficient use of land. The site is also previously developed land. Parts A and B of the exceptions test of the NPPF are therefore, considered to be satisfied in this instance.

- 4.12 Part C of the exception test set out in in the NPPF, requires development to be safe. The Environment Agency advises that the safety of residents is reliant upon either evacuation prior to floodwater reaching the site or safe refuge, above the flood level.
- 4.13 In this instance the FRA submitted with the application has demonstrated that the site is defended to a level in excess of the 1 in 200 year tide level, however, including allowances for future climate change, over the lifetime of the development (100 years), the defences may overtop. The Modelling Report submitted has therefore analysed various scenarios which could occur in various flooding events.
- 4.14 The results show that where the defences remain intact; the site will not be affected by floodwater during the 1 in 200 year flood event. During the 1 in 1000 year 'extreme' event, the site would be inundated with floodwater to a depth of 1.7m, within 20 minutes. In this scenario, there would be no safe access/egress to the site and residents will require 'flood warning'. It is proposed to set floor levels for residential accommodation at 3.3m AOD at ground floor level. This is 300mm above the water surface elevation during the 1 in 200 year flood event where the defences remain intact. However, if the defences were to be breached in a 1 in 200 year flood event, the water surface elevation on site would be 4.9mAOD, with 2.2m of flood water surrounding the buildings. The Environment Agency has recommended first floor levels to be set to 6.2m AOD to address this issue. A flood evacuation plan is required by condition and the applicant will be advised to sign up to the Environment Agency's early flood warning service.

Design and Impact on the Character of the Area

National Planning Policy Framework- Delivering a wide choice of high quality homes, Requiring good design; DPD1 (Core Strategy) policies KP2, CP4; DPD2 (Development Management Document) policy DM10 and Design and Townscape Guide SPD1 (2009)

- 4.15 Paragraph 56 of the NPPF states *"The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people"*.
- 4.16 Policy KP2 of the Core Strategy requires all new developments respect the character and scale of the existing neighbourhood where appropriate. Policy CP4 of the Core Strategy states that development proposals will be expected to contribute to the creation of a high quality, sustainable urban environment which enhances and complements the natural and built assets of Southend.
- 4.17 Policy DM1 of the Development Management states that the Council will support good quality, innovative design that contributes positively to the creation of successful places. All developments should add to the overall quality of the area and respect the character of the site, its local context and surroundings in terms of its architectural approach, height, size, scale, form, massing, density layout, proportions, materials, townscape

- 4.18 The overall design and scale of the dwellinghouse has sought to replicate the pair of semi-detached properties to which it would be attached to in terms of its roof form, eaves alignment, fenestration and materials, which is welcomed.
- 4.19 The main entrance to the existing dwellings is via a footpath and landscaped area, where the proposed dwelling is sited. The proposal by reason of its siting would result in a restricted and confined access to the dwellings, to the detriment of the occupiers and contrary to the NPPF, policies KP2 and CP4 of the Core Strategy, policies DM1, DM3 and DM8 of the Development Management DPD2. The access width to the properties would be reduced to a 1.6m alleyway that all occupiers of the existing houses and future occupiers would use. The resulting alleyway will not appear attractive or inviting, particularly during the evening, reducing the overall legibility of this site, and resulting in a poor quality residential environment for existing and potential future occupiers.

Living Standards for future occupiers

National Planning Policy Framework, Development Management Document policy DM8, The National Technical Housing Standards DCLG 2015 and Design and Townscape Guide (SPD1)

- 4.20 The internal floorspace of the proposed dwelling is 62.5sqm (1 bedroom 2 persons). The current standards require 58sqm for a two storey 1 bedroom (2 people) dwellinghouse together with 1.5sqm of cupboard storage. Whilst it is noted there is a study to the first floor the size of the room has a width of 1.6m x 1.9m deep with an internal floor area of 3.3sqm. In accordance with the National Technical Housing Standards, in order to provide one bedspace, a single bedroom has a floor area of at least 7.5sqm and is at least 2.15m wide, which the study room fall short off it is unlikely to be used as a bedroom. All habitable rooms would benefit from sufficient daylight and outlook.
- 4.21 One of the core planning principles of the NPPF is that the planning system should *“always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings”*.
- 4.22 Policy DM8 of the Development Management Document DPD2 states that all new dwellings must make provision for useable private outdoor amenity space for the enjoyment of intended occupiers; for flatted schemes this can take the form of a balcony or semi-private communal amenity space.
- 4.23 Whilst the Council’s Design and Townscape Guide states:
- “Outdoor space significantly enhances the quality of life for residents and an attractive useable garden area is an essential element of any new residential development”*.
- 4.24 The proposed dwellinghouse will have access to an amenity area to the south equating to 36.2sqm, which is small but considered sufficient useable space for potential future occupiers as the dwelling will not be used for family accommodation and therefore no objection is raised on this basis.

Traffic and transportation

National Planning Policy Framework; DPD1 (Core Strategy) policies KP2, CP4, CP3; policy DM15 of the DPD2 (Development Management Document) and the Design and Townscape Guide SPD1.

- 4.25 The existing site is accessed from a road serving a number of properties to the rear of Camper Road. The principle of residential uses in this location has been previously accepted, given the 5 dwellings constructed following the appeal allowed under application 11/00507/FUL. The current development was allowed prior to the adoption of the Development Management Document DPD2 and each dwelling has 1 parking space in accordance with policy at that time. Policy DM15 of the Development Management Document DPD2 has since been adopted and requires at least two parking spaces to be provided per dwellinghouses in this location. However, on balance, taking into account that this will be a one bedroom dwellinghouse no objection is raised to the parking provision of only one space in this location.

Access

- 4.26 The proposed extension to facilitate a new dwelling house would reduce access to the existing frontages and neighbouring dwellings. An objection has been received from the fire service stating the development would detrimentally affect their ability for fire fighting to affectively search and rescue and fight fire, due to the proposed extension reducing the access area to the properties to a single pathway. This is considered to be contrary to the NPPF in terms of providing safe and accessible environments.

Impact on residential amenity

National Planning Policy Framework, Development Management DPD2 policy DM1, Core Strategy Policies KP2 and CP4, Development Management Document DPD2 policy DM1 and the Design and Townscape Guide (SPD1)

- 4.27 Policy DM1 of the Development Management Document states that any new development should protect the amenity of the site, immediate neighbours, and surrounding area, having regard to privacy, overlooking, outlook, noise and disturbance, visual enclosure, pollution, and daylight and sunlight. Paragraph 343 of SPD1 (under the heading of Alterations and Additions to Existing Residential Buildings) states, amongst other criteria, that extensions must respect the amenity of neighbouring buildings and ensure not to adversely affect light, outlook or privacy of the habitable rooms in adjacent properties.
- 4.28 The proposed dwelling will be sited 9.3m in front of the existing terraced block to the north of the site. The nearest residential property to the west of the site (properties in Camper Road) is 12m. It is not considered the proposed dwellinghouse will be overbearing nor result in loss of daylight to the amenities of adjacent residential occupiers.

Sustainable Construction

National Planning Policy Framework; DPD2 (Development Management) policy DM2, DPD1 (Core Strategy) policy: KP2 and the Design and Townscape Guide SPD1.

4.29 Policy KP2 of the Core Strategy states:

“All development proposals should demonstrate how they will maximise the use of renewable and recycled energy, water and other resources. This applies during both construction and the subsequent operation of the development. At least 10% of the energy needs of new development should come from on-site renewable options (and/or decentralised renewable or low carbon energy sources), such as those set out in SPD 1 Design and Townscape Guide”.

4.30 The provision of renewable energy resources should be considered at the earliest opportunity to ensure an intrinsic design. In this instance the applicant has indicated that photovoltaic panels will be used to meet the requirement of policy KP2 of the Core Strategy and further details can be sought if this application is deemed acceptable.

4.31 Policy KP2 of the Core Strategy DPD1 requires the need for all new development to incorporate SUDs to enable surface water attenuation for the site. No details have been submitted at this time however, if the application is deemed acceptable a suitable condition can be imposed.

4.32 Policy DM2 of the Development Management Document part (iv) requires water efficient design measures that limit internal water consumption to 105 litres per person per day (lpd) (110 lpd when including external water consumption). Such measures will include the use of water efficient fittings, appliances and water recycling systems such as grey water and rainwater harvesting. Whilst details have not been submitted for consideration at this time, this can be dealt with by condition if the application is deemed acceptable.

Contamination

National Planning Policy Framework, Policy DM14 of the Development Management Document DPD2

4.33 Concerns have been raised in relation to contamination matters however, if this scheme is deemed acceptable conditions can be imposed to ensure full investigative details and relevant certificates are submitted.

Community Infrastructure Levy (CIL) Charging Schedule.

4.34 This application is CIL liable. If the application had been recommended for approval, a CIL charge would have been payable. If an appeal is lodged and allowed the development will be CIL liable. Any revised application may also be CIL liable.

Other Matters

- 4.35 It is noted that given the limited size of the plot and buildings, any alterations/extension of the dwellings allowed by the General Permitted Development Order or any order revoking and re-enacting that Order with or without modification, may result in unacceptable living conditions of the future occupiers (i.e. should the rear amenity space would be significantly reduced by a rear extension) or impact on the neighbouring properties (i.e. increased overlooking from dormer windows). For this reason it is considered reasonable that permitted development rights for the proposed dwellinghouse be removed from this proposal if the application is deemed acceptable.

Conclusion

- 4.36 For the reasons set out above the proposed development by reason of siting would result in a restricted and confined access to the dwellings, to the detriment of the quality of the residential environment of future and existing occupiers and restrict access for the fire service to the detriment of safety contrary to the NPPF, policies KP2 and CP4 of the Core Strategy, policies DM1, DM3, DM8 and DM15 of the Development Management DPD2.

5 Planning Policy Summary

- 5.1 National Planning Policy Framework 2012
- 5.2 Development Plan Document 1: Core Strategy Policies KP1 (Spatial Strategy), KP2 (Development Principles), CP3 (Transport and Accessibility), CP4 (The Environment and Urban Renaissance), CP8 (Dwelling Provision)
- 5.3 Development Plan Document 2: Development Management Document Policies DM1 (Design Quality), DM2 (Low carbon development and efficient use of resources), DM3 (The Efficient and effective use of land), DM8 (Residential Standards), DM14 (Environmental Management), DM15 (Sustainable Transport Management)
- 5.4 SPD1 Design & Townscape Guide 2009

6 Representation Summary

Design and Regeneration

- 6.1 The loss of the landscaping area to the side of the properties is a regrettable as this provides a more attractive setting for the houses and gives the development overall a less cramped appearance. The proposed main access would be changed to a 1.6m alley with no landscaping which will not be as attractive and may feel a bit intimidating for users at night time in particular.

The design of the house itself matches the rest of the development so should not appear out of context in this respect.

This proposal overall will reduce the overall quality of the development in terms of its sense of place and environment but will not be out of character in terms of the house design itself and will not be seen from the street.

Traffic and Transportation

- 6.2 One parking space is proposed, which is considered acceptable taking into account the location of the site with access to public transport and cycle routes.

Environmental Health

- 6.3 A number of site investigation reports have been provided in relation to the above site. The Desktop Summary recommends that multiple samples were taken across the site, a regime of landborne gas monitoring was to be undertaken and it highly recommended that a geotechnical investigation was carried out due to high levels of infilled and made up ground.

It is unclear from the Factual Report and the Trentside Report submitted if these recommendations were undertaken. Further verification that the recommendations within the desktop study have been implemented shall be dealt with by condition including the list of recommendations contained within the report during the redevelopment of this site **[Officer Comment: The above matters relate to the wider site and it is considered the adequate decontamination of the application site can be achieved by condition if this application is deemed acceptable].**

Environment Agency

- 6.4 Our maps show the site lies in tidal Flood Zone 3a defined by the 'Planning Practice Guidance: Flood Risk and Coastal Change' as having a high probability of flooding. The proposal is for the construction of a residential dwelling, classified as 'more vulnerable' in Table 2: Flood Risk Vulnerability Classification of the Planning Practice Guidance. To comply with national policy the application is required to pass the Sequential and Exception Tests and be supported by a site specific FRA.

If you are satisfied that the application passes these tests and will be safe for its lifetime, we request the following conditions are included if permission is granted:

Conditions

1. Ground floor levels shall be provided at minimum level of 3.3mAOD
2. First floor levels shall be provided at a minimum level of 6.2mAOD

Reasons

To minimise the impact of flooding upon the building and to provide refuge above the flood level during the extreme flood event.

To assist you in making an informed decision about the flood risk affecting this site, the key points from the FRA are provided in an appendix.

[Officer Comment: The above conditions can be imposed if the application is deemed acceptable].

Essex Fire Service

6.5 Access

Access for the Fire service purposes has been considered in accordance with the Essex Act 1987-Section 13.

It is considered that there is insufficient access to the frontages of this and the neighbouring dwellings on the plan for fire fighting personnel to effect search and rescue and fight fire, due to the proposed extension reducing the access area to the properties to a single pathway.

Therefore the functional requirement of B5 approved document b part 1 which states:

“The building shall be designed and constructed so as to provide reasonable facilities to assist firefighters in the protection of life” has not been achieved.

Building Regulations

It is the responsibility of anyone carrying out building work to comply with the relevant requirements of building regulations to ensure the proposal complies with section 13 of Building (Approved Inspectors) Regulations 2010 (as amended)

Water Supplies

The architect or applicant is reminded that additional water supplies for fire fighting maybe necessary for this development.

Sprinkler Systems

Automatic Water Suppression Systems should be installed.

Public Consultation

6.6 A site notice displayed on the 19th December 2016 and neighbours notified of proposal. 5 letters of representation have been received stating:

- Parking will be restricted and is already insufficient for households;
- Both developments wrongly assume visitors will not go to the dwellings;
- The only pedestrian access to Mayfair Place is via the access road, which is used for both vehicles and pedestrians, which is already very dangerous;
- Lack of sunlight;
- Overlooking and loss of privacy;
- Noise levels will increase;
- Traffic and parking would need to be managed;
- It is not clear how long the development will take;

- At present each dwelling has two dwellings and 1 parking space is not sufficient [**Officer Comment: The appeal allowed relating to application 11/00507/FUL was considered acceptable with one space per dwelling. This proposal is for a one bedroom property and therefore on balance taking into account the location of the site with access to public transport no objection is raised by the Councils Highway Officer**];
- Emergency vehicles will not be able to access the properties to the rear of the site;
- The foundations are already in for this new building when the other properties were constructed;
- Some 30 vehicles already use the access from Camper Road to the area of this development. The likelihoods of accidents would also increase.

7 Relevant Planning History

- 7.1 2011 – A planning application (11/00507/FUL) to demolish an existing storage building and erect 5, two storey dwellings was refused planning permission. A subsequent appeal was allowed.
- 7.2 2013- Application to vary condition 2 (the development hereby permitted shall be carried out in accordance with the approved plans) allowed on appeal dated 14th March 2012 to request amendment to building footprint. Granted (13/01753/FUL).
- 7.3 2017- Replace plan 151-02-13 2, 151-02-13 P01 with 151-02-13 2A, 151-02-13 P01B to amend parking layout (Variation of conditions 2 and 4 of planning application 13/01753/FUL dated 17/02/14) (retrospective) (16/02061/FUL)

8 Recommendation

8.1 Members are recommended to REFUSE PLANNING PERMISSION subject to the following reason:

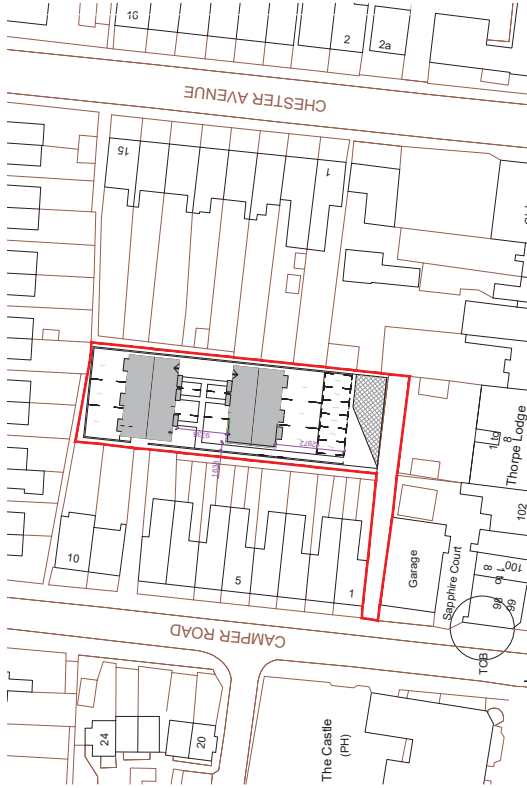
- 1 The proposed development by reason of its siting would result in a restricted and confined access to existing dwellings, resulting in a poor quality residential environment. Furthermore, there would be insufficient access to the frontages of this and the neighbouring dwellings to enable fire fighting personnel to carry out an effective search and rescue and fight fire, to the detriment of the safety of occupiers and contrary to the NPPF, policies KP2 and CP4 of the Core Strategy, policies DM1, DM3, DM8 and DM15 of the Development Management DPD2.**

Informative

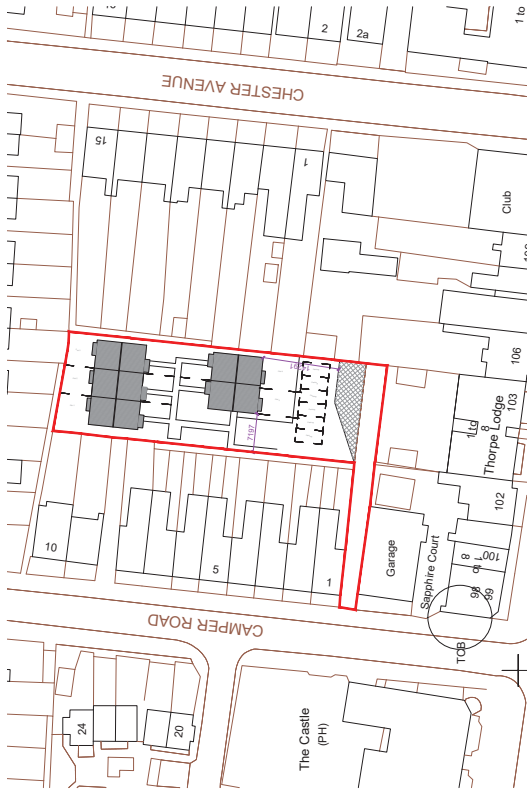
- 1 Please note that this application would be liable for a payment under the Community Infrastructure Levy Regulations 2010 (as amended) if planning permission had been granted. Therefore if an appeal is lodged and subsequently allowed, the CIL liability will be applied. Any revised application would also be CIL liable.**

The Local Planning Authority has acted positively and proactively in determining this application by identifying matters of concern with the proposal and determining the application within a timely manner, clearly setting out the reason(s) for refusal, allowing the Applicant the opportunity to consider the harm caused and whether or not it can be remedied by a revision to the proposal. The detailed analysis is set out in a report prepared by officers. In the circumstances the proposal is not considered to be sustainable development. The Local Planning Authority is willing to discuss the best course of action and is also willing to provide pre-application advice in respect of any future application for a revised development, should the applicant wish to exercise this option in accordance with the Council's pre-application advice service.

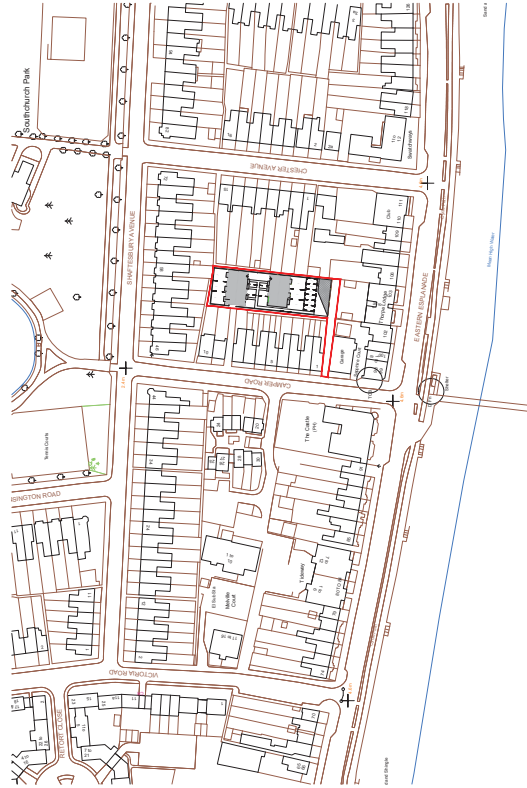
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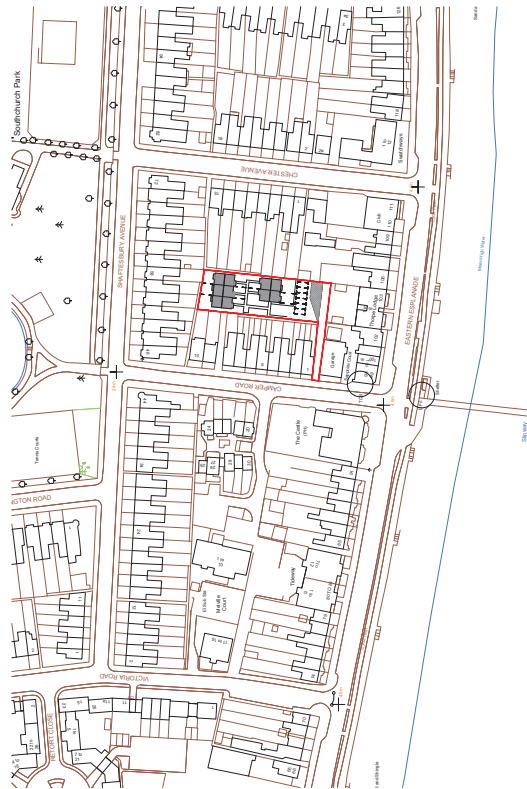
Proposed Block Plan - 1:500



Existing Block Plan - 1:500



Proposed Location Plan - 1:1250



Existing Location Plan - 1:1250

STATUS: AWAITING APPROVAL

PROJECT STAGE: DRAWN BY: CHIED BY:
 S1 - Preliminary DS
 M. Miller

PROJECT NO: 116/15
 PRODUCTION NO: 001
 22/06/15

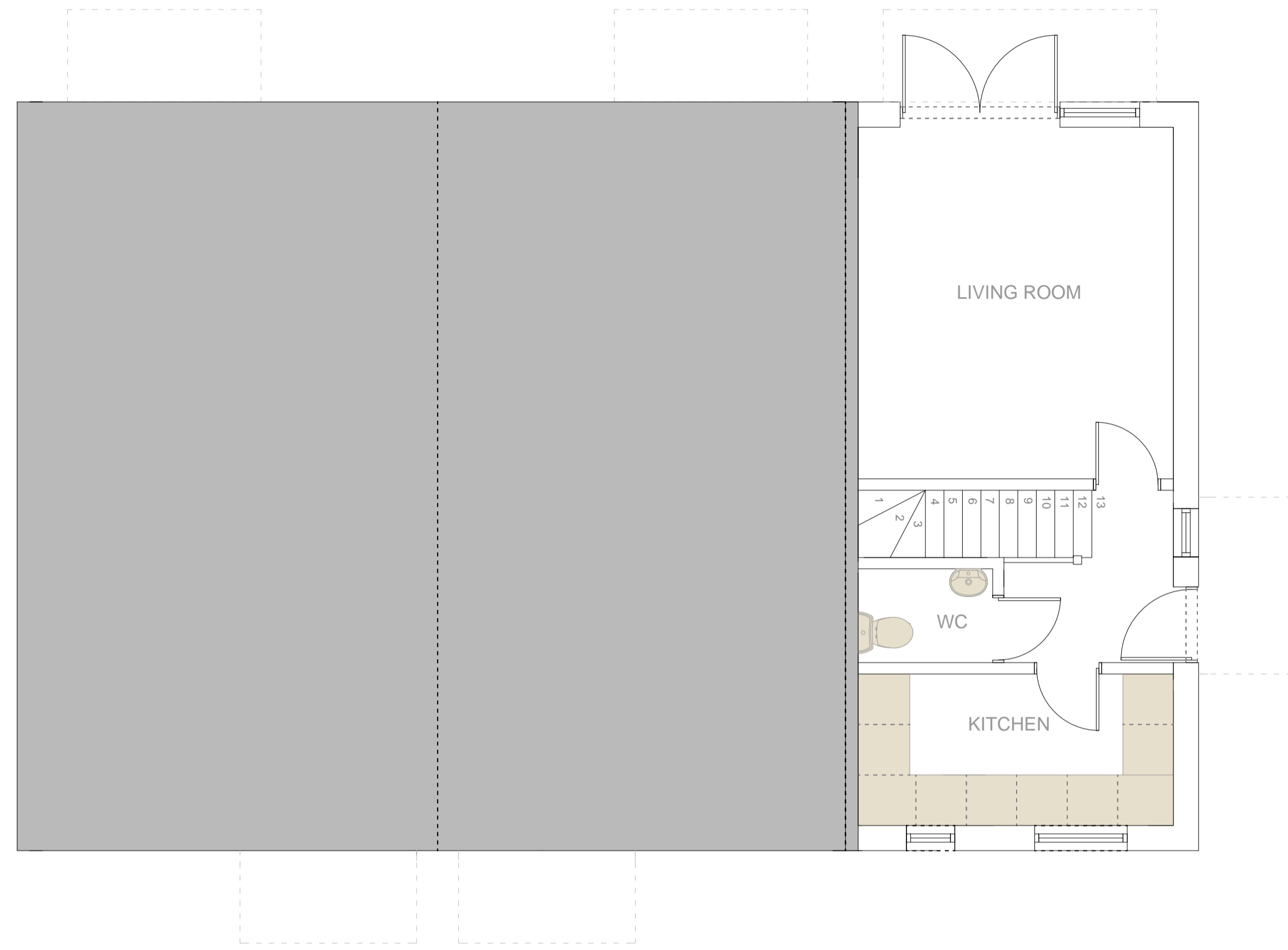
REVISION: C

Proposed Site and Block Plans

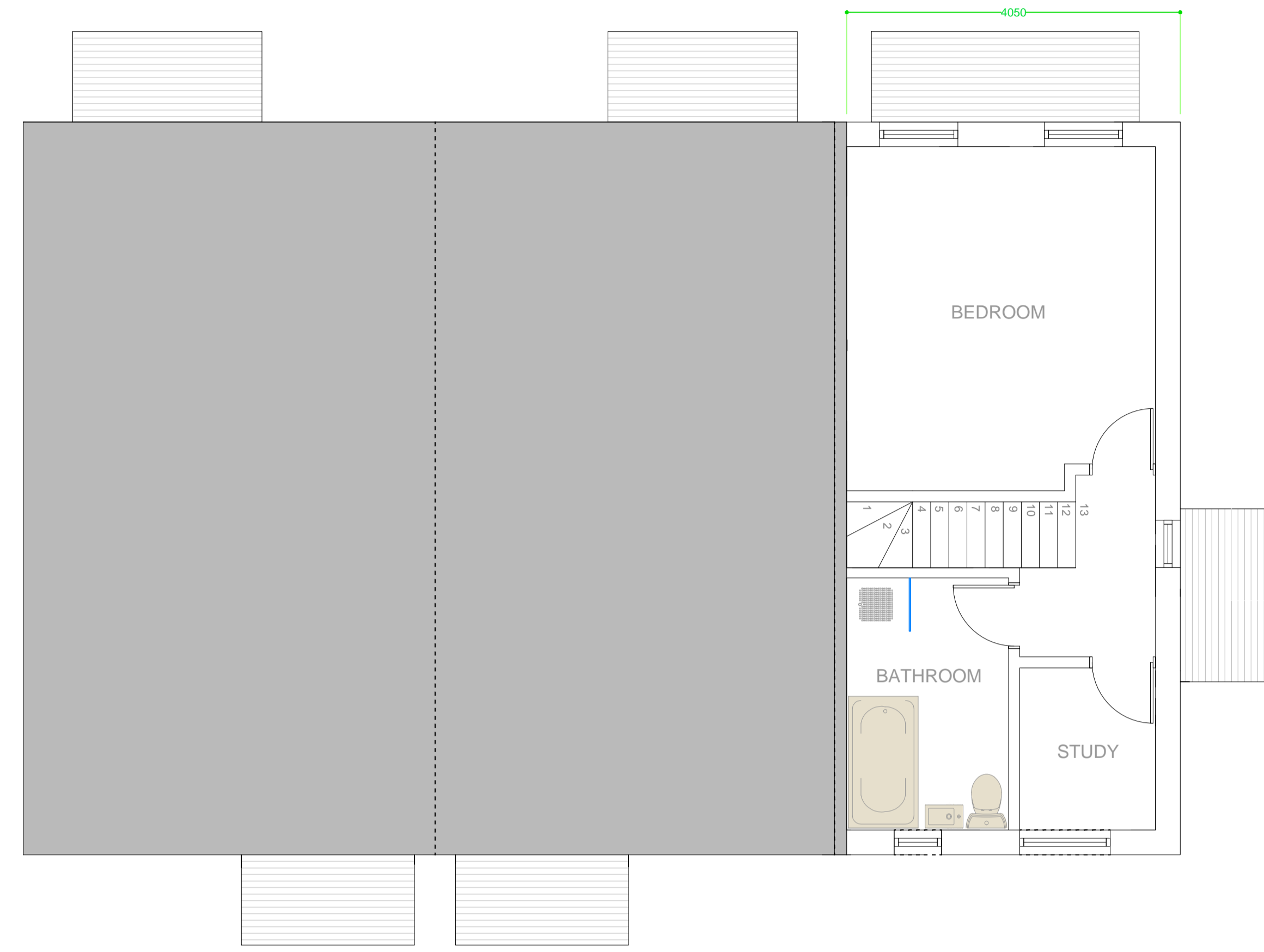
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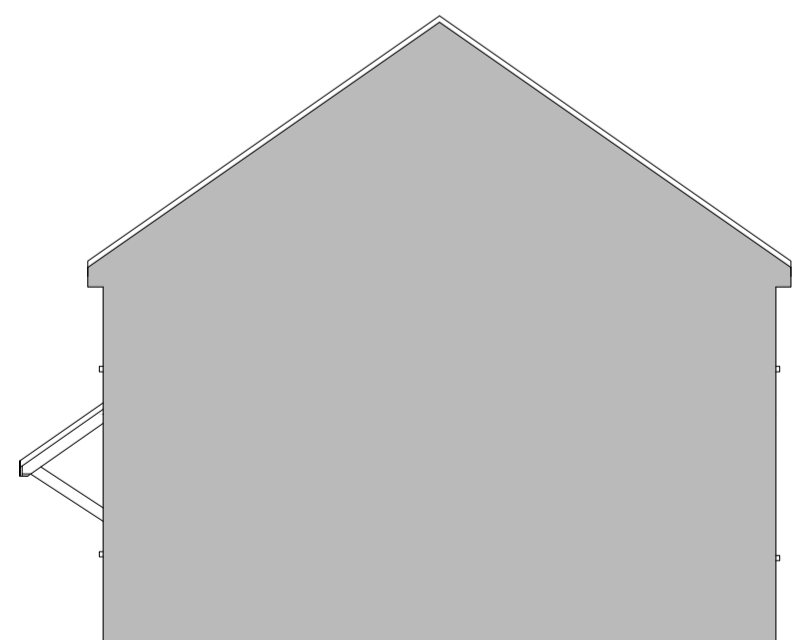
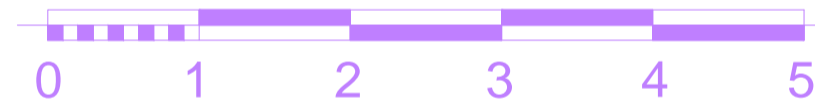
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Proposed Ground Floor Plan 1:50



Proposed First Floor Plan 1:50 (Plot 6)



Proposed Side Elevation 1:100



Proposed Front Elevation 1:100



Proposed Side Elevation 1:100



Proposed Rear Elevation 1:100



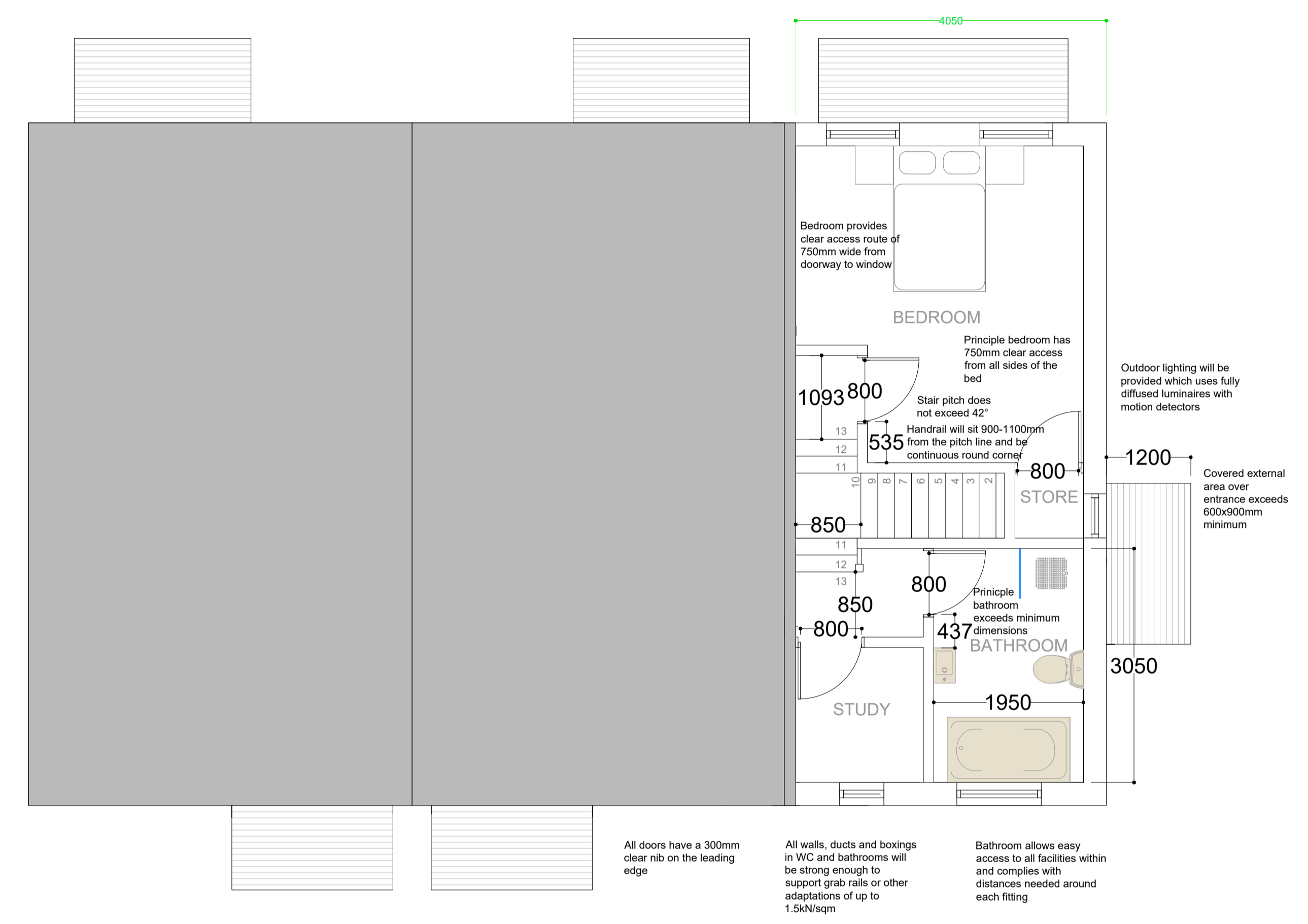
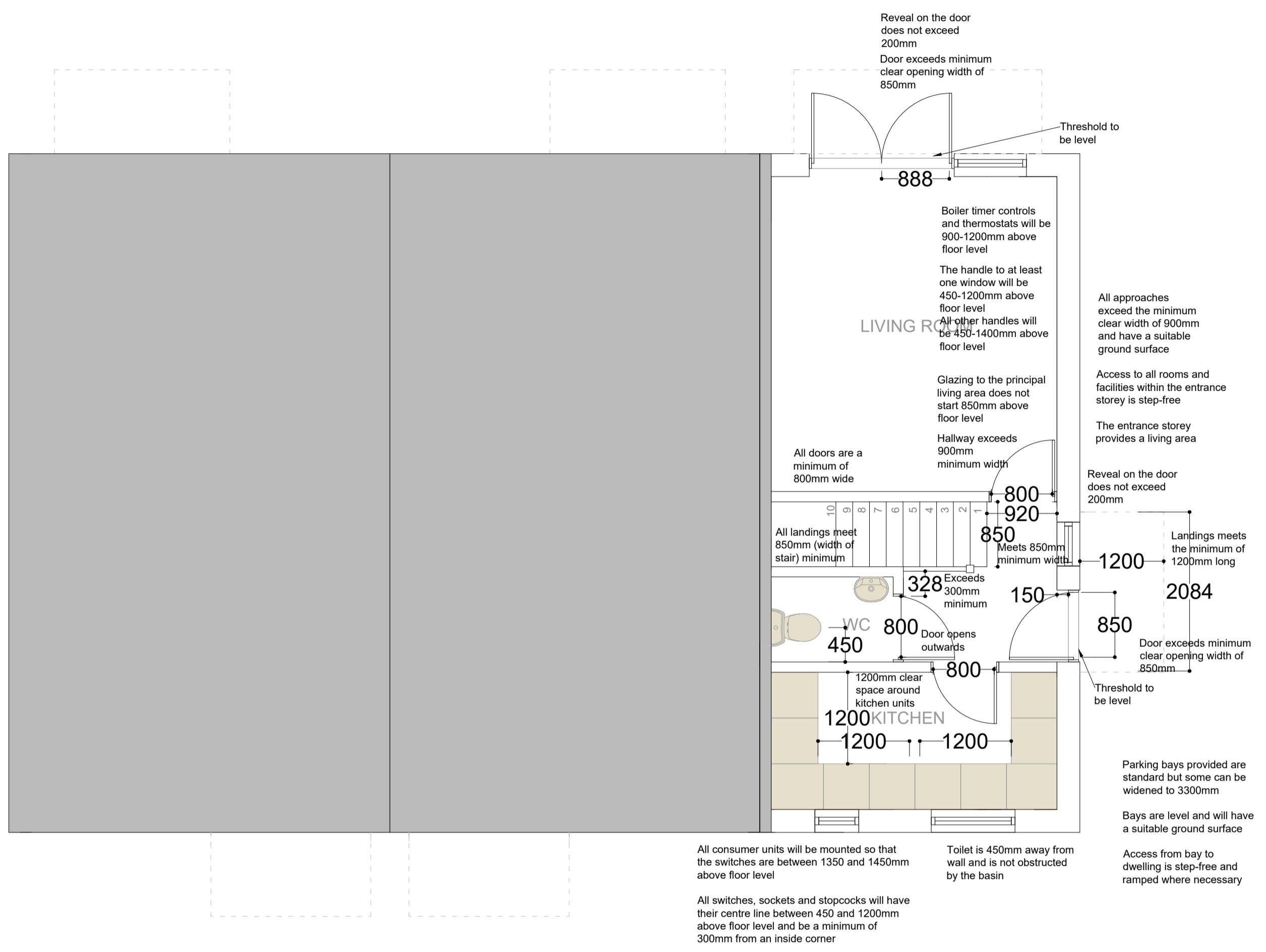
STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary DRAWN BY: WS CHKD BY:
 CLIENT: Mr Miller
 PROJECT: Land Adjacent to 1 Mayfair Place
 PROJECT NO: 329-09-15 PAGE NO: P04 REVISION:
 DRAWING: Proposed Plans and Elevations (P6)
 SCALE: 1:100 and 1:50 on A1

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 THE CONTRACTOR IS TO ALLOW WITHIN THEIR PRICE FOR ALL ITEMS NOT LISTED BUT THAT WILL BE REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH ALL CURRENT LEGISLATION.

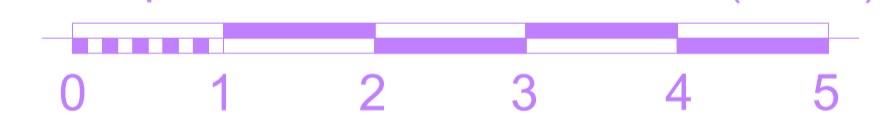
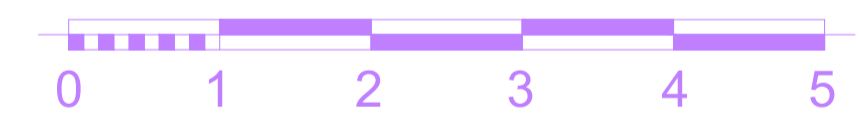
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Proposed Ground Floor Plan 1:50

Proposed First Floor Plan 1:50 (Plot 6)



STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary
 DRAWN BY: DS
 CHKD BY: []

CLIENT: Mr Miller

PROJECT: Land Adjacent to 1 Mayfair Place

PROJECT NO: 329-09-15
 PAGE NO: P10
 REVISION: -

DRAWING: Proposed - Part M compliance plan

SCALE: 1:50 on A1

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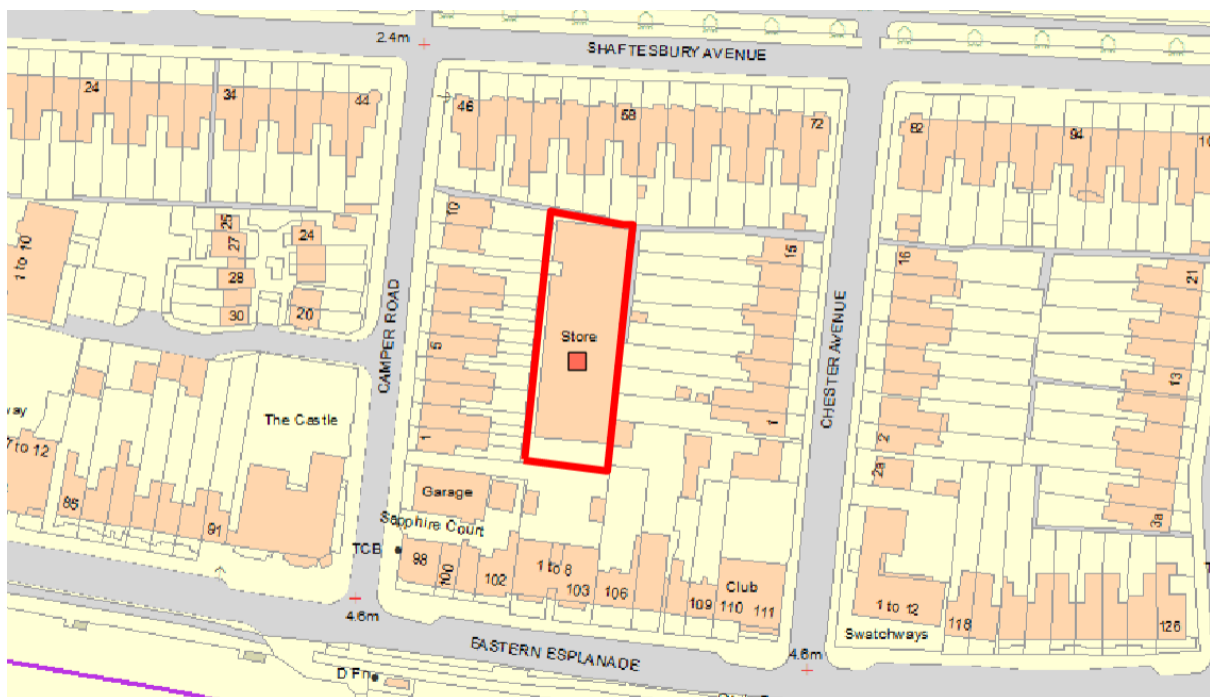
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Reference:	16/02061/FUL
Ward:	Thorpe
Proposal:	Replace plan 151-02-13 2, 151-02-13 P01 with 151-02-13 2A, 151-02-13 P01B to amend parking layout (Variation of conditions 2 and 4 of planning application 13/01753/FUL dated 17/02/14) (retrospective)
Address:	Rear of 2 - 10 Camper Road, Southend-On-Sea, Essex, SS1 2YR
Applicant:	Stockvale Properties LTD
Agent:	SKArchitects
Consultation Expiry:	13.12.2016
Expiry Date:	02.02.2017
Case Officer:	Janine Rowley
Plan Nos:	P01 Revision C; P02(4) Revision A; P02 Revision B and P03 Revision B
Recommendation:	GRANT PLANNING PERMISSION

10



1 The Proposal

- 1.1 A planning application (11/00507/FUL) to demolish an existing storage building and erect 5, two storey dwellings was allowed on appeal in 2011 (reference: 2164587). The development has been completed and includes a pair of semi-detached dwellings and a terrace of 3 to the north.
- 1.2 Application 13/01753/FUL sought permission to change the footprint of the buildings allowed at appeal under reference app/2164587, which was granted planning permission on the 17th February 2013.
- 1.3 There is a concurrent planning application to erect a two storey side extension to form a terrace house and layout parking under reference 16/01901/FUL currently pending consideration.
- 1.4 This application seeks to make amendments to the previously approved planning application 13/10753/FUL. The amendment relates to the car parking whereby the applicant has not implemented this element of the development in accordance with the approved plans. Under application 13/01753/FUL, three spaces were originally proposed to the eastern boundary and two spaces to the west of the dwelling houses. The applicant has changed the parking layout and installed five spaces to the south of the dwellinghouses, which the applicant is now seeking permission for retrospectively.

2 Site and Surroundings

- 2.1 The site is occupied by five two storey dwellinghouses with associated amenity space. The surrounding character is two storey properties to the north, east and west with larger flatted developments to the south.
- 2.2 To the north of the site are residential properties fronting Shaftesbury Avenue which have rear gardens backing onto the application site.
- 2.3 To the east and west of the site are residential properties fronting Chester Avenue and Camper Road whose rear gardens also back onto the application site.
- 2.4 To the south of the site is a shared right of way and access and beyond this is Thorpe Lodge which contains flats.
- 2.5 The area is generally residential in character, with some commercial uses fronting Eastern Esplanade.

3 Planning Considerations

- 3.1 The main considerations in relation to this application are the principle of the development, impact on the character of the area, traffic and transportation issues and impact on residential amenity. The planning history of the site is also a material consideration, in particular application no. 13/01753/FUL.

4 Appraisal

Principle of Development

National Planning Policy Framework, Core Strategy Policies KP2, CP1, CP4 and CP8, Development Management Document DPD2 policies DM1 and DM3

- 4.1 The principle of redevelopment of this site for residential use has been accepted. The only change from the previously approved plans is the parking layout, which has been changed to be laid out to the south of the existing dwellinghouses.

Design and Impact on the Character of the Area:

National Planning Policy Framework, Core Strategy Policies KP2, CP1, CP4 and CP8, Development Management Document DPD2 policy DM1

- 4.2 It should be noted that good design is fundamental to high quality new development and its importance is reflected in the NPPF as well as Policies KP2 and CP4 of the Core Strategy DPD1 and policy DM1 of the Development Management Document DPD1. The Design and Townscape Guide (SPD1) also states that the Council is committed to good design and will seek to create attractive, high-quality living environments.
- 4.3 As stated above the overall design and scale of the development has been previously accepted. This application seeks to vary conditions 2 and 4 of application 13/01753/FUL in relation to the parking layout, which has been constructed retrospectively and in a different location.
- 4.4 The parking layout now includes 5 spaces to the south of the existing pair of semi-detached and the refuse and recycling storage have been resited along the eastern boundary. The amended parking layout will allow for greater landscaping and openness to the development which will improve the setting of the houses and the approach to the front entrances which are located in the centre of the site. There are therefore no design objections to the proposed amended parking layout.

Traffic and Transport Issues

National Planning Policy Framework, Core Strategy Policies KP2, CP3, CP4 Development Management Document DPD2 policy DM15

- 4.5 The principle of five parking spaces, 1 per dwelling has been considered acceptable following the appeal allowed for redevelopment of this for five houses (appeal reference: 2164587). No objections were raised in relation to the access road or parking layout.
- 4.6 The parking layout as constructed has removed the turning area for vehicles to manoeuvre as previously allowed at appeal. However, vehicles will still be able to manoeuvre across and existing right of way area that serves a number of properties allowing vehicles to exit in a forward gear to Camper Road. The Councils Highway Officer has raised no objections to this arrangement.

Impact on Residential Amenity

National Planning Policy Framework, Core Strategy Policies KP2, CP4 Development Management Document DPD2 policy DM1

- 4.7 It is not considered the amended parking layout will affect the amenities of nearby residential occupiers.

Flood Risk

National Planning Policy Framework, Core Strategy Policy KP2

- 4.8 The site is located within Flood Zone 3a (high probability of flooding) and the applicant has submitted an FRA which considers risk of flooding, access and resilience measures.
- 4.9 Paragraph 103 of the NPPF states:

“When determining planning applications, local planning authorities should ensure flood risk is not increased elsewhere and only consider development appropriate in areas at risk of flooding where, informed by a site-specific flood risk assessment following the Sequential Test, and if required the Exception Test, it can be demonstrated that:

- within the site, the most vulnerable development is located in areas of lowest flood risk unless there are overriding reasons to prefer a different location; and*
- development is appropriately flood resilient and resistant, including safe access and escape routes where required, and that any residual risk can be safely managed, including by emergency planning; and it gives priority to the use of sustainable drainage systems.”*

- 4.10 The application seeks to make amendments to the design of the parking layout dwellings. The principle of dwellings was not objected to by the Planning Inspector when allowing the appeal. It is not considered there are any new material planning considerations that would mean the development is not acceptable in terms of the sequential test or exceptions test, which have previously been satisfied. Furthermore, the Environment Agency has raised no objection.

Other Matters

Contamination

National Planning Policy Framework, Core Strategy Policies KP2, CP4 Development Management Document DPD2 policy DM14

- 4.11 The site has been identified as a site that could be contaminated due to the previous uses on site. The development has been completed and the Councils Environmental Health Officer considers a number of site investigation reports have been provided and the information appears to be satisfactory. If further intrusive works were to be carried out at the location or if the use of the site was to vary then further investigation would be required.

Renewable Energy

National Planning Policy Framework, Core Strategy Policies KP2, CP4 Development Management Document DPD2 policies DM1 and DM2

4.12 Policy KP2 of the Core Strategy states:

“All development proposals should demonstrate how they will maximise the use of renewable and recycled energy, water and other resources. This applies during both construction and the subsequent operation of the development. At least 10% of the energy needs of new development should come from on-site renewable options (and/or decentralised renewable or low carbon energy sources), such as those set out in SPD 1 Design and Townscape Guide”.

4.13 Photovoltaic panels were required on the dwellings by condition. These have not been installed and thus a further condition is recommended.

Community Infrastructure Levy (CIL) Charging Schedule.

4.14 CIL Regulation 128A means that CIL is only chargeable if there is a net increase in floorspace between the original permission of 13/01753/FUL and this Section 73 application. The proposal will not result in any additional floorspace.

5 Conclusion

5.1 Taking into account the above and all other material considerations the amended parking layout is considered to be in accordance with the Development Plan.

6 Planning Policy Summary

6.1 National Planning Policy Framework.

6.2 Development Plan Document 1: Core Strategy Policies KP1 (Spatial Strategy), KP2 (Development Principles), CP4 (The Environment and Urban Renaissance), and CP8 (Dwelling Provision).

6.3 Development Plan Document 2: Development Management Document policies DM1 (Design Quality), DM2 (Low Carbon and Efficient Use of Resources), DM14 (Environmental Protection), DM15 (Sustainable Transport Management)

6.4 Supplementary Planning Document 1: Design & Townscape Guide (2009)

6.5 CIL Charging Schedule

7 Representation Summary

Highways

- 7.1 There are no objections to the change of parking layout. Each dwelling will still retain 1 for 1 parking and the layout allows vehicle to manoeuvre effectively and exit in a forward gear.

Environment Agency

- 7.2 We have no objection to the application as it is considered to be low risk.

Environmental Health

- 7.3 A number of site investigation reports have been provided and the information appears to be satisfactory. If further intrusive works were to be carried out at the location or if the use of the site was to vary then further investigation would be required.

Public Consultation

- 7.4 A site notice and neighbours notified. Two letters of representation has been received stating:

- Each house will have one parking space per dwelling **[Officer Comment: The parking provision of one space per dwelling remains unaltered. The parking provision has been previously accepted by a planning inspector under appeal reference: 2164587];**
- The disabled bay is to be removed and no parking provision is proposed for such users **[Officer Comment: Under applications 11/00507/FUL and 13/01753/FUL no disabled parking was proposed and therefore the proposal is not removing such provision];**
- The additional cars from this development already affect the surrounding residents;
- This proposal will result in further demand for parking **[Officer Comment: The number of parking spaces per dwelling remains unchanged from the previously approved applications to redevelop the site. The change relates to the siting of the parking to the south of the pair of semi-detached properties rather than to the east and west boundaries respectively]**

- 7.5 Councillor Woodley has requested this application be dealt with by Development Control Committee.

8 Relevant Planning History

- 8.1 2011 – A planning application (11/00507/FUL) to demolish an existing storage building and erect 5, two storey dwellings was refused planning permission. A subsequent appeal was allowed.

- 8.2 2013- Application to vary condition 2 (the development hereby permitted shall be carried out in accordance with the approved plans) allowed on appeal dated 14th March 2012 to request amendment to building footprint. Granted (13/01753/FUL).
- 8.3 2017- Erect two storey side extension to form terraced house and layout parking- Pending consideration (16/01901/FUL)

9 Recommendation

9.1 **Members are recommended to GRANT PLANNING PERMISSION subject to the following conditions:**

01 **The development hereby permitted shall be carried out in accordance with the following approved plans: P01 Revision C; P02(4) Revision A P02 Revision B and P03 Revision B.**

Reason: To ensure that the development is carried out in accordance with the provisions of the Development Plan.

02 **Notwithstanding the submitted plan P02(4), within three months of the date of this permission five marked car parking spaces shall be provided and shall thereafter be permanently retained for the parking of private motor vehicles solely for the benefit of the occupants of the dwelling(s) of which it forms part and their visitors and for no other purpose unless otherwise agreed in writing by the local planning authority.**

Reason: To ensure that satisfactory off-street car parking is provided in the interests of residential amenity and highways efficiency and safety, in accordance with the National Planning Policy Framework (NPPF), DPD1 (Core Strategy) 2007 policy KP2, DPD2 (Development Management Document) policy DM15, and SPD1 (Design and Townscape Guide).

03 **Within three months of the date of this permission, photovoltaic panels shall be installed carried out in accordance with details of renewable energy statement carried out by pemxq September 2013 and drawings P02 Revision B and P03 Revision B relating to the photovoltaic panels and permanently retained thereafter.**

Reason: In the interest of sustainable development and in accordance with Policy KP2 of the Southend on Sea Borough Core Strategy.

04 **The development hereby permitted shall operate at all times in accordance with the 'Flood Evacuation and Warning Plan' project 151-02-13 submitted with this application.**

Reason: To ensure that the habitable development remains dry in the event of flooding for the adequate protection of the occupants in accordance with the NPPF.

- 05 The development hereby permitted Trentside Geotechnical Testing and Site Investigations Limited report dated 22.04.2016 reference JB/TGT/010 is agreed, unless otherwise agreed in writing by the local planning authority.**

Informative

- 1 You are advised that as the proposed external alterations does not result in the creation of new floorspace given that it equates to less than 100sqm of new floorspace the development benefits from a Minor Development Exemption under the Community Infrastructure Levy Regulations 2010 (as amended) and as such no charge is payable. See www.southend.gov.uk/cil for further details about CIL.**

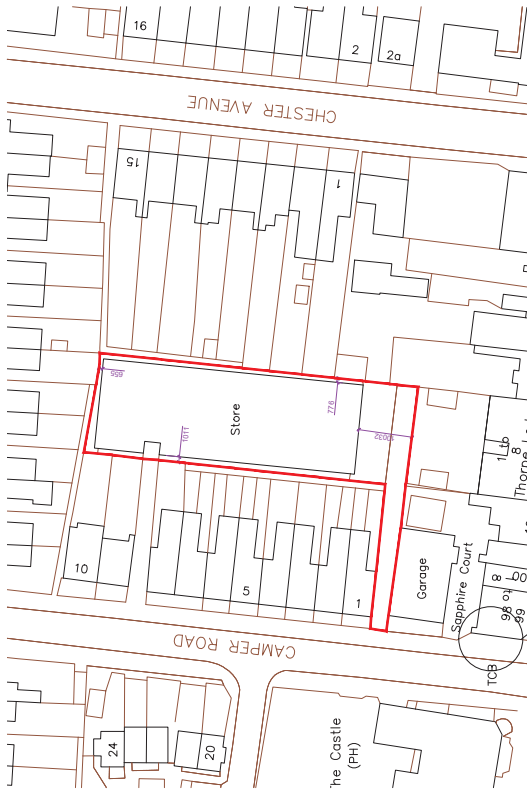
The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.

Travel Distance from Roadside to furthest points of site

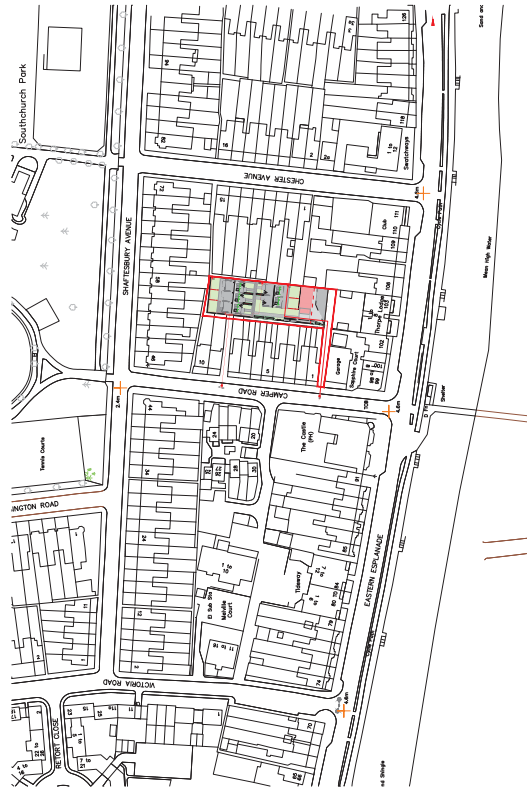
- A-A = 59m
- B-B = 63m
- C-C = 70m



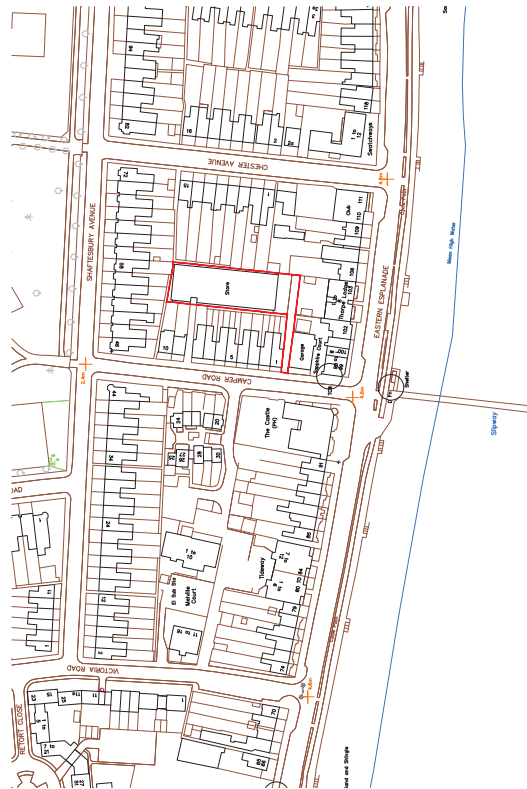
Proposed Block Plan - 1:500



Existing Block Plan - 1:500



Proposed Location Plan - 1:1250



Existing Location Plan - 1:1250

STATUS: AWAITING APPROVAL

PROJECT STAGE: DRAWN BY: CHECKED BY:

SI: Building Control RB

PROJECT: M1 Millar

PROJECT NO: 19102-13

SCALE: 1:500 and 1:1250 on A1

PROPOSED SITE AND BLOCK PLANS

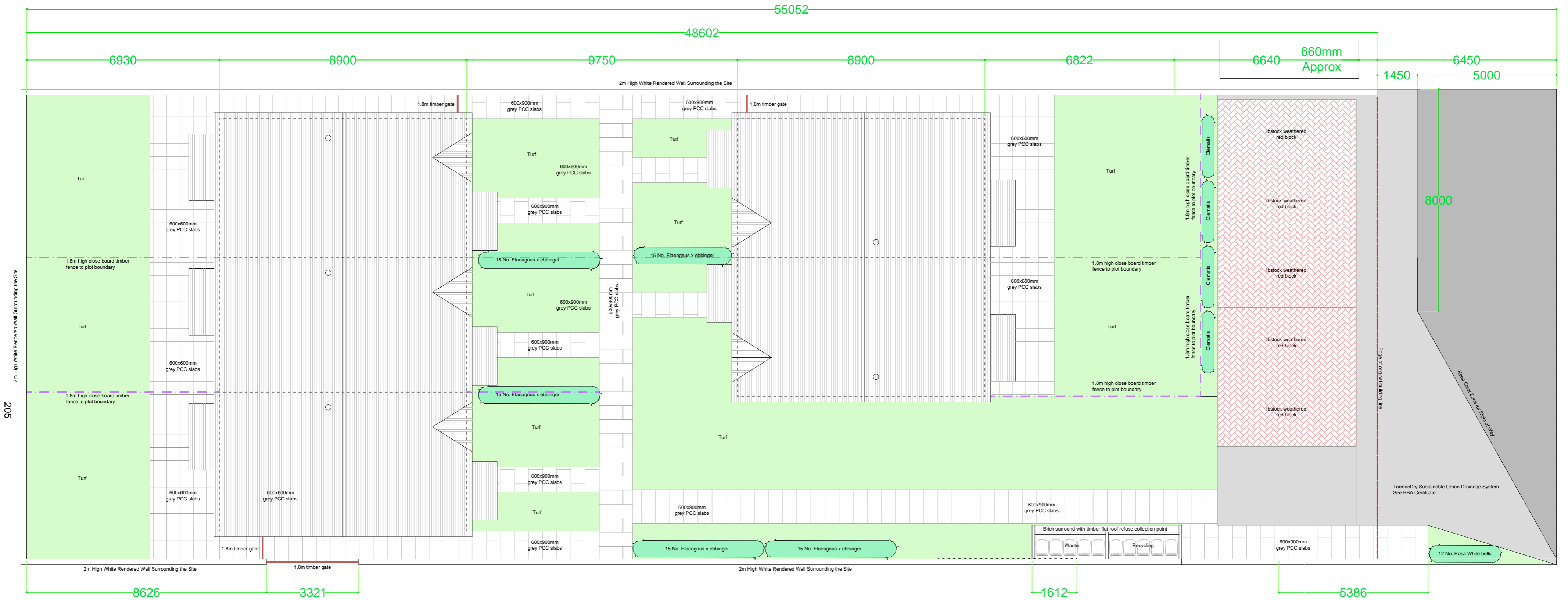
REVISION: C

DATE: 01/10/2019

SCALE: 1:500 and 1:1250 on A1

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STATUS: AWAITING APPROVAL

PROJECT STAGE: S2 - Planning
 DRAWN BY: RB
 CHKD BY:

CLIENT:
 Mr Miller

PROJECT:
 1-10 Camper Road

PROJECT NO: 151-02-13
 PAGE NO: 2(4)
 REVISION: A

DRAWING:
 Landscape

SCALE:
 1:100 on A2

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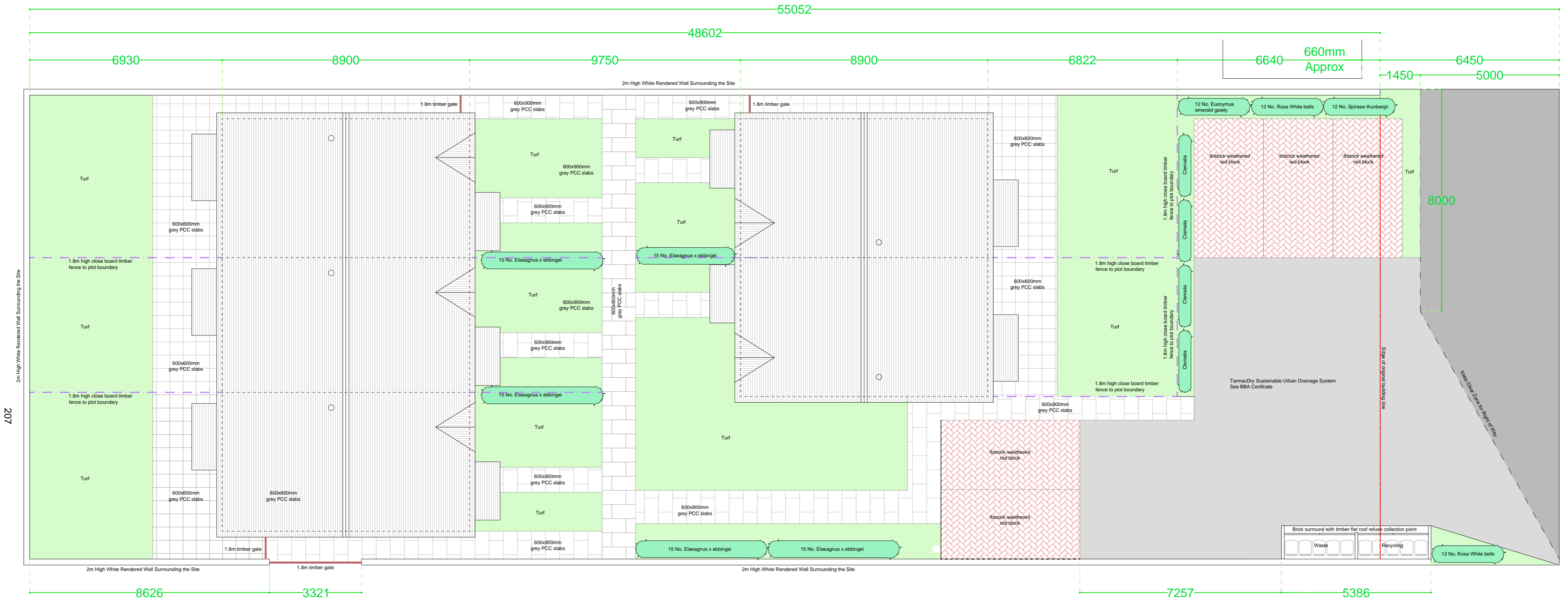
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 PROJECT: 1-10 Camper Road
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Reference:	16/02206/FULH
Ward:	Chalkwell 11
Proposal:	Erect two storey side extension, single storey rear extension, alterations to elevations and erect porch canopy to front
Address:	3 Parkside, Westcliff-On-Sea, Essex, SS0 8PR
Applicant:	Mr And Mrs Whyte
Agent:	Knight Gratrix Architects
Consultation Expiry:	9 th January 2016
Expiry Date:	3 rd February 2017
Case Officer:	Anna Tastsoglou
Plan Nos:	1085 010 C & 1085 011 C
Recommendation:	GRANT PLANNING PERMISSION



1 The Proposal

- 1.1 Planning permission is sought to erect a part single, part two storey side extension, single storey rear extension and alter porch to front. The existing single storey side extension and front gabled porch would be demolished. Materials to be used would include double glazed windows, solid timber doors to store and front door, power coated aluminium doors to rear, plain clay tiles and the external walls would be finished in painted render to match existing.
- 1.2 The side extension at ground floor would be extended 100mm back from the front building line and it would measure 3.5m wide to the front and 14.3m deep (including the extension to the rear). At first floor the extension would have of the same width, it would be set 1.2m back from the front building line and it would have a depth of 11.1m and a maximum height of 9.8m (in line with the ridge of the original dwelling). The ground and first floors of the extension would be linked with the mono-pitched roof.
- 1.3 The extension to the rear would measure 7.3m wide x 1m deep, incorporating a flat roof with a maximum height of 3.4 metres.
- 1.4 The porch to front would have a mono-pitched roof of and it would be supported by a pillar.
- 1.5 Internally the proposed extension would accommodate an open plan kitchen/diner, a utility and storage to front at ground floor and two bedrooms and a bathroom at first floor.

2 Site and Surroundings

- 2.1 The application site is occupied by a detached two storey dwelling located on the northern side of 3 Parkside, east of Mount Avenue. The property has a hipped roof, with a front gable projection and double storey bay window and a partially attached single storey side extension with gable roof. Currently the main part of the house is poorly designed, featuring a small and misaligned window and a poorly detailed gabled front open porch. The front curtilage is partially hard surfaced, providing sufficient parking for at least two vehicles.
- 2.2 The area is residential in character and the properties in the streetscene vary in terms of design, mass and form. Although the properties have an established front building line, they vary in terms of ridge height, overall scale and design.

3 Planning Considerations

- 3.1 The key considerations in relation to this application are the principle of the development, design and impact on the character of the area, impact on residential amenity, any traffic or transport issues and CIL liability.

4 Appraisal

Principle of Development

NPPF; DPD 1 (Core Strategy) Policies KP2 and CP4; Development Management DPD Policies DM1 and DM3; SPD 1 (Design & Townscape Guide (2009))

- 4.1 The dwelling is located within a residential area and extensions to the property are considered acceptable in principle. Other material planning considerations are discussed below.

Design and Impact on the Character of the Area:

NPPF; DPD 1 (Core Strategy) Policies KP2 and CP4; Development Management DPD Policies DM1 and DM3; SPD 1 (Design & Townscape Guide (2009))

- 4.2 It should be noted that good design is a fundamental requirement of new development to achieve high quality living environments. Its importance is reflected in the NPPF, in the Policies KP2 and CP4 of the Core Strategy and also in Policy DM1 of the Development Management DPD. The Design and Townscape Guide (SPD1) also states that *“the Borough Council is committed to good design and will seek to create attractive, high-quality living environments.”*
- 4.3 Paragraph 56 of the NPPF states that *“good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.”*
- 4.4 Policy DM1 of the Development Management DPD states that all development should *“add to the overall quality of the area and respect the character of the site, its local context and surroundings in terms of its architectural approach, height, size, scale, form, massing, density, layout, proportions, materials, townscape and/or landscape setting, use, and detailed design features”*.
- 4.5 Policy DM3 (5) also advises that *‘Alterations and additions to a building will be expected to make a positive contribution to the character of the original building and the surrounding area through:*
- (i) The use of materials and detailing that draws reference from, and where appropriate enhances, the original building, and ensures successful integration with it; and*
 - (ii) Adopting a scale that is respectful and subservient to that of the original building and surrounding area; and*
 - (iii) Where alternative materials and detailing to those of the prevailing character of the area are proposed, the Council will look favourably upon proposals that demonstrate high levels of innovative and sustainable design that positively enhances the character of the original building or surrounding area.’*

- 4.6 According to Policy KP2 of Core Strategy (CS) new development should “*respect the character and scale of the existing neighbourhood where appropriate*”. Policy CP4 of CS requires that development proposals should “*maintain and enhance the amenities, appeal and character of residential areas, securing good relationships with existing development, and respecting the scale and nature of that development*”.
- 4.7 Paragraph 351 of The Design and Townscape Guide (SPD1) states that “*side extensions should be designed to appear subservient to the parent building. This can generally be achieved by ensuring the extension is set back behind the existing building frontage line and that its design, in particular the roof, is fully integrate with the existing property.*”
- 4.8 The property is a hipped roof detached dwelling with the front gable projection. It is proposed to erect a part single part two storey side extension, which would be set 100mm back from the front building line at ground floor and 1.2m back at first floor and be raised up in line with the ridge of the original dwelling. The side extension would alter the appearance of the dwelling forming an almost centred gable projection. Although it would be raised in line with the main roof, and therefore, not subservient to the main dwelling, in this particular instance, it is considered to be the most appropriate way to extend the property to the side. Furthermore, given that at first floor would be set back, it is considered that it would not result in a dominant form of development. Taking into consideration the alterations proposed to the currently poorly designed front elevation, including the formation of a new porch and the installation of larger and fenestration consistent with that of the existing front bay window, it is considered that proposed development would not be detrimental to the appearance of the dwelling or the streetscene. The proposed mono-pitched roof linking the ground with the first floor would provide articulation to the dwelling and it would match with the proposed mono-pitched roof of the proposed front porch.
- 4.9 The proposal would result in a small flat roof section at ridge level. Given the limited size of the flat roof, the fact that the main hipped roof of the dwelling would be maintained and subject to the flat section being dropped down below the ridge of the roof, the proposal is not considered to be materially harmful to the character and appearance of the dwelling, or the wider area. A condition is considered reasonable to be imposed to secure the flat roof section would not be visible from the streetscene.
- 4.10 To the rear the property has an existing gable, which sits lower from the main ridge. A similar gable is proposed to be formed to the rear of the side extension at first floor, which is considered to be of an appropriate scale and design in relation to the main dwelling. A new window will be installed to the existing rear gable, which is considered positive for the proposed development. At ground floor the extension would be of a small scale, incorporating a flat roof. Although the roof would not entirely integrate with the main roof from, it would not be visible from the public realm and also it would be well detailed and thus, not materially harmful to the appearance of the property.

- 4.11 In terms of external finishing materials, the extension would match the existing materials of the property and therefore, no objection is raised in that respect.

Traffic and Transport Issues

NPPF; Development Management DPD Policy DM15; Vehicle Crossing Policy & Application Guidance (2014); SPD 1 (Design & Townscape Guide (2009))

- 4.12 Policy DM15 of the Development Management DPD requires that adequate parking should be provided for all development. Although the proposal would result in loss of an existing garage, two off-street parking spaces would still be provided to the front curtilage of the dwelling (at least 4.8m x 4.8m hard surfaced area to the front and double crossover). As such, no objection is raised in relation to off-street parking space provision.

Impact on Residential Amenity:

NPPF; Development Management DPD Policy DM1; SPD 1 (Design & Townscape Guide (2009))

- 4.13 The Design and Townscape Guide (SPD1) states that *“extensions must respect the amenity of neighbouring buildings and ensure not to adversely affect light, outlook or privacy of the habitable rooms in adjacent properties.”* (Paragraph 343 - Alterations and Additions to Existing Residential Buildings). Policy DM1 of the Development Management DPD requires all development to be appropriate in its setting by respecting neighbouring development and existing residential amenities *“having regard to privacy, overlooking, outlook, noise and disturbance, sense of enclosure/overbearing relationship, pollution, daylight and sunlight.”*
- 4.14 The proposed side extension would be sited one metre off the eastern boundary with No. 7 Parkside and it would not project beyond the front or rear elevations of the neighbouring dwelling. An additional 5.6m separation distance is maintained between the boundary and the dwelling at 7 Parkside. It is therefore considered that the proposal by reason of the separation distance and position of the extension in relation to the neighbouring dwelling to the east, it would not result in an overbearing or overshadowing impact. The single storey rear extension would be sited 6.5m away from the dwelling to the east and taking into account its limited height, separation distance and limited set back from the rear elevation of the adjoining property (no more than 500mm), it is not considered that it would be harmful to the residential amenity of the occupants of No. 7 Parkside, by way of loss of light or domination.
- 4.15 With regard to the proposed windows to the east elevation, although no objection is raised to a clear window at ground floor dining area, given the existing high fence between the two properties, the bathroom window at first floor should be glazed in obscure glass to prevent from unreasonable overlooking. This would be secured by condition.

- 4.16 In terms of the impact on the property to the west (No. 8 Mount Avenue) the proposed development would not have any detrimental impact, given that the two storey side extension would not project beyond the existing front and rear elevations of the dwelling and the single storey rear extension would be sited around 7.3m away from the adjacent dwelling. No new windows are proposed to be installed to the west elevation and as such, no objection is raised rearing overlooking the neighbours to the west.
- 4.17 A church is located to the rear of the property and an overall 14.2 metres separation distance would be maintained between the rear extension and the rear boundary, which is considered sufficient to overcome any unacceptable overlooking or overshadowing impact.
- 4.18 The windows to the front elevation would overlook the neighbouring front gardens and the highway, which is considered acceptable.

Community Infrastructure Levy

CIL Charging Schedule 2015

- 4.19 The new floor space created by the proposal would be less than 100m². Therefore, the proposed development is not CIL liable.

5 Conclusion

- 5.1 Having taken all material planning considerations into account, it is found that subject to compliance with the attached conditions, the proposed development would be acceptable and compliant with the objectives of the relevant development plan policies and guidance. The proposal would have an acceptable impact on the amenities of neighbouring occupiers and the character and appearance of the application site, the street scene and the locality more widely. There would be no highways impacts from the proposal. This application is therefore recommended for approval subject to conditions.

6 Planning Policy Summary

- 6.1 The National Planning Policy Framework (2012) : Section 7 (Requiring Good design)
- 6.2 Development Plan Document 1: Core Strategy Policies KP2 (Development Principles) and CP4 (Environment & Urban Renaissance)
- 6.3 Development Management DPD 2015: DM1 (Design Quality), DM3 (The Efficient and Effective Use of Land) and DM15 (Sustainable Transport Management)
- 6.4 Supplementary Planning Document 1: Design & Townscape Guide (2009)
- 6.5 CIL Charging Schedule 2015

7 Representation Summary

Public Consultation

- 7.1 Seven neighbours were consulted and no letters of objection have been received.
- 7.2 The application has been called into committee by Cllr Folkard.

Design and Regeneration

- 7.3 No objection subject to the flat roof section being set down below the ridge of the hipped roof.

Transport and Highways

- 7.4 No comments received.

Parks

- 7.5 No comments received.

8 Relevant Planning History

- 8.1 No relevant planning history.

9 Recommendation

GRANT PERMISSION subject to the following conditions:

- 01 The development hereby permitted shall begin not later than three years from the date of this decision. (C01A)**

Reason: Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990. (R01A)

- 02 The development hereby permitted shall be carried out in accordance with the following approved plans: 1085 010 C & 1085 011 C (C01D)**

Reason: To ensure that the development is carried out in accordance with the provisions of the Development Plan. (R01D)

- 03 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings hereby approved or are required by conditions to this permission. (C23D)**

Reason: In the interests of visual amenity and to ensure that the appearance of the building makes a positive contribution to the character and appearance of the area. This is as set out in the National Planning Policy Framework (NPPF), DPD1 (Core Strategy) 2007 policy KP2 and CP4, Development Management DPD policy DM1, and SPD1 (Design and Townscape Guide).

- 04** Notwithstanding the approved plans (condition 02), the proposed flat roof section shall be set lower from the ridge of the hipped roof and ridge tiles shall be installed at the edges of this flat roof section, in accordance with the details which shall be previously been submitted to and approved in writing by the Local Planning Authority.

Reason: In the interests of visual amenity and to ensure that the appearance of the building makes a positive contribution to the character and appearance of the area. This is as set out in the National Planning Policy Framework (NPPF), DPD1 (Core Strategy) 2007 policy KP2 and CP4, Development Management DPD policy DM1, and SPD1 (Design and Townscape Guide).

- 05** The roof of the building/extension hereby approved shall not be used as a balcony, roof garden or similar amenity area or for any other purpose unless otherwise agreed in writing by the local planning authority. The roof can however be used for the purposes of maintenance or to escape in an emergency. (C17A)

Reason: To protect the privacy and environment of people in neighbouring residential properties, in accordance with the National Planning Policy Framework (NPPF), DPD1 (Core Strategy) 2007 policy CP4, Development Management DPD policy DM1 and SPD1 (Design and Townscape Guide).

- 06** The first floor bathroom window in the east elevation shall only be glazed in obscure glass (the glass to be obscure to at least Level 4 on the Pilkington Levels of Privacy, or such equivalent as may be agreed in writing with the local planning authority) and fixed shut, except for any top hung fan light which shall be a minimum of 1.7 metres above internal floor level unless otherwise agreed in writing by the local planning authority. In the case of multiple or double glazed units at least one layer of glass in the relevant units shall be glazed in obscure glass to at least Level 4. (C17B)

Reason: To protect the privacy and environment of people in neighbouring residential properties, in accordance with the National Planning Policy Framework (NPPF), DPD1 (Core Strategy) 2007 policy CP4, Development Management DPD policy DM1 and SPD1 (Design and Townscape Guide).

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.

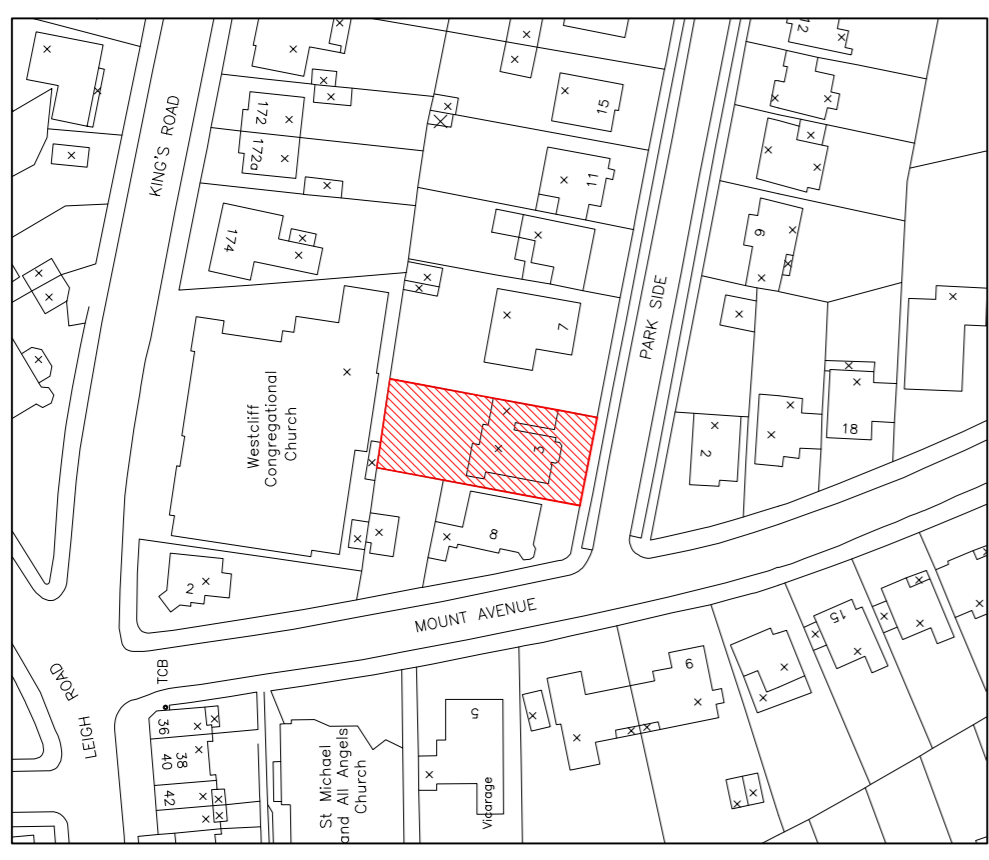
Informative

- 1 You are advised that as the proposed extension(s) to your property equates to less than 100sqm of new floorspace the development benefits from a Minor Development Exemption under the Community Infrastructure Levy Regulations 2010 (as amended) and as such no charge is payable. See www.southend.gov.uk/cil for further details about CIL.**

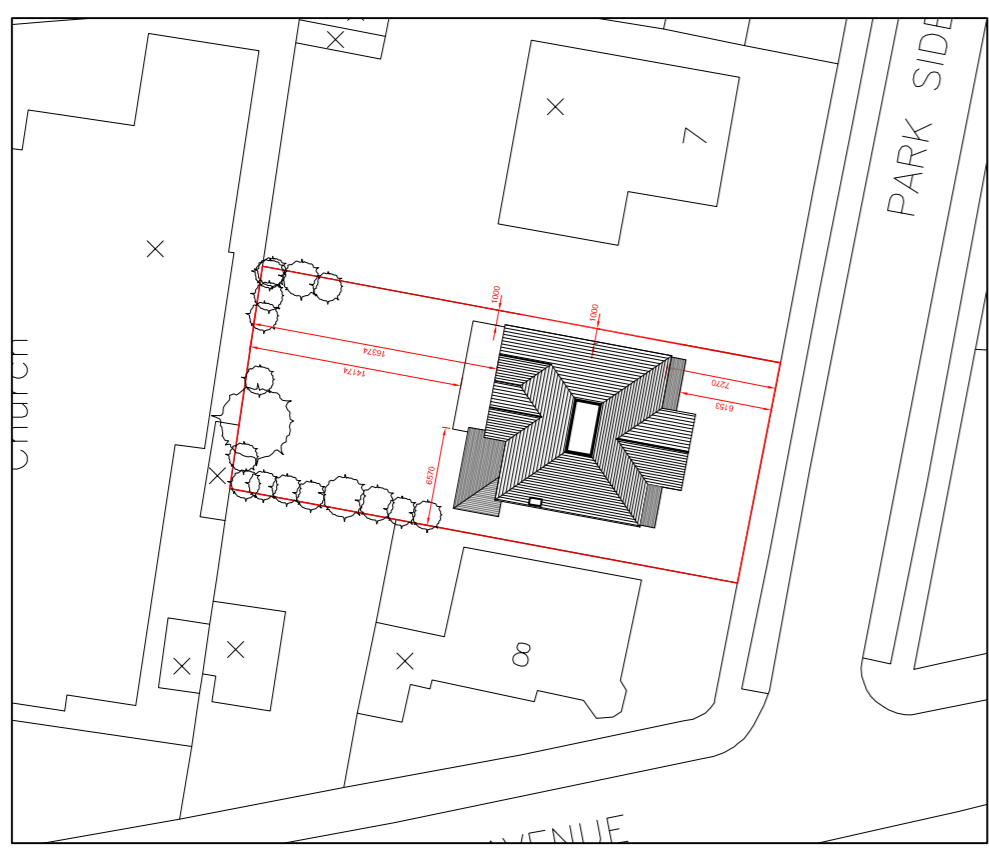
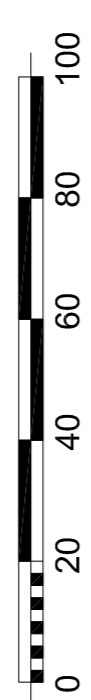
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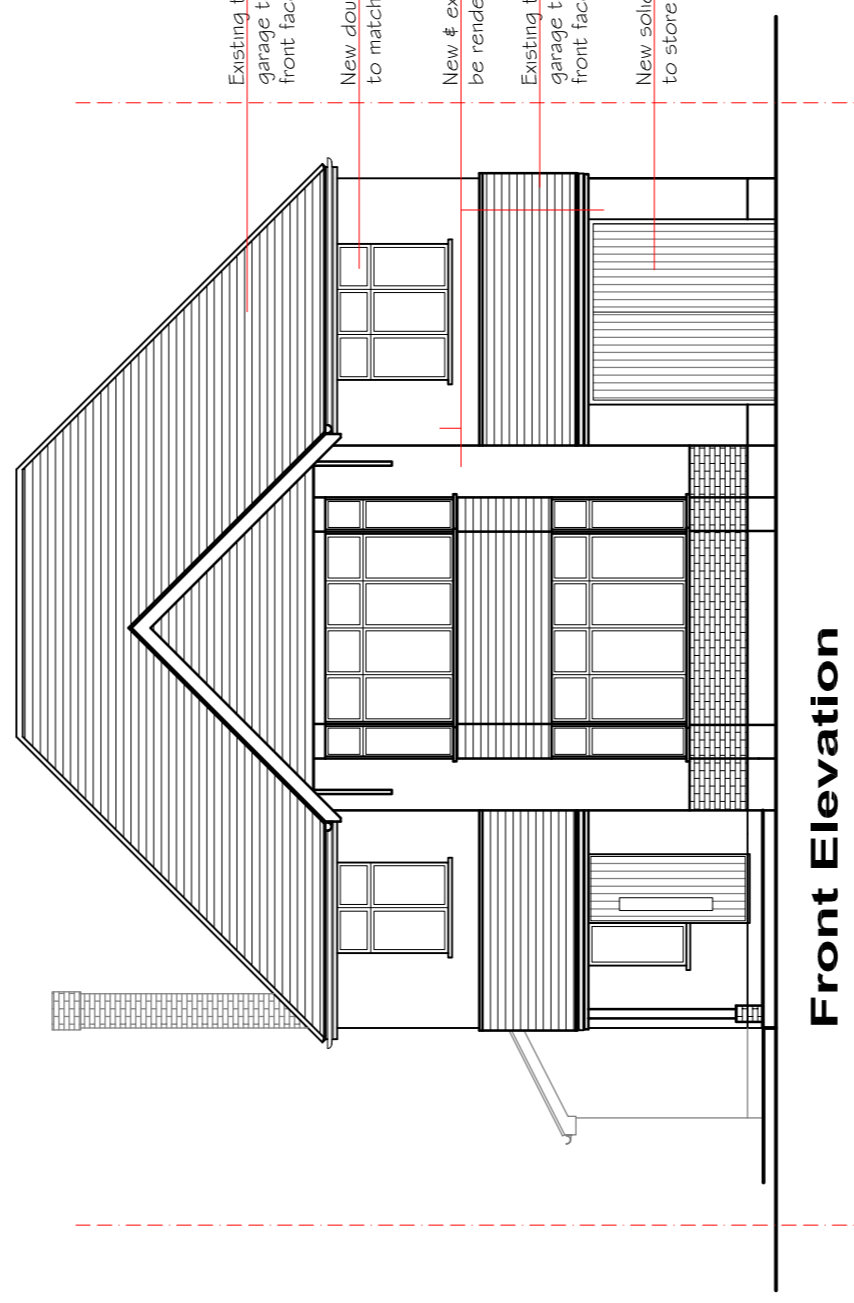
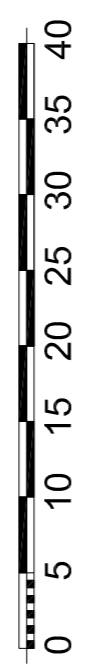
Revision	Date
A	Amended to suit client comments 14.10.16
B	Amended for planning information 28.11.16
C	Amended to suit client comments 08.12.16



Existing Location Plan 1:1250

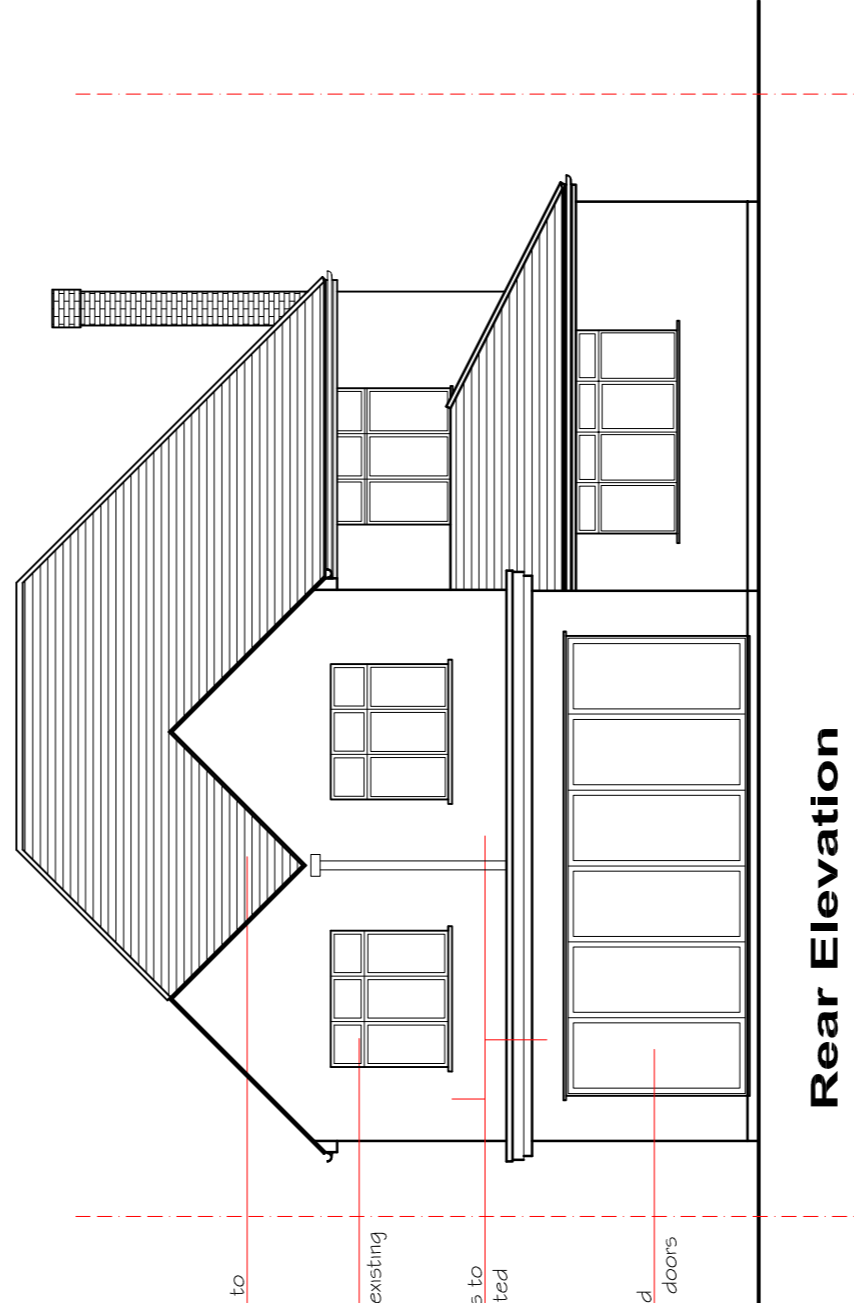


Proposed Block Plan 1:500



Front Elevation

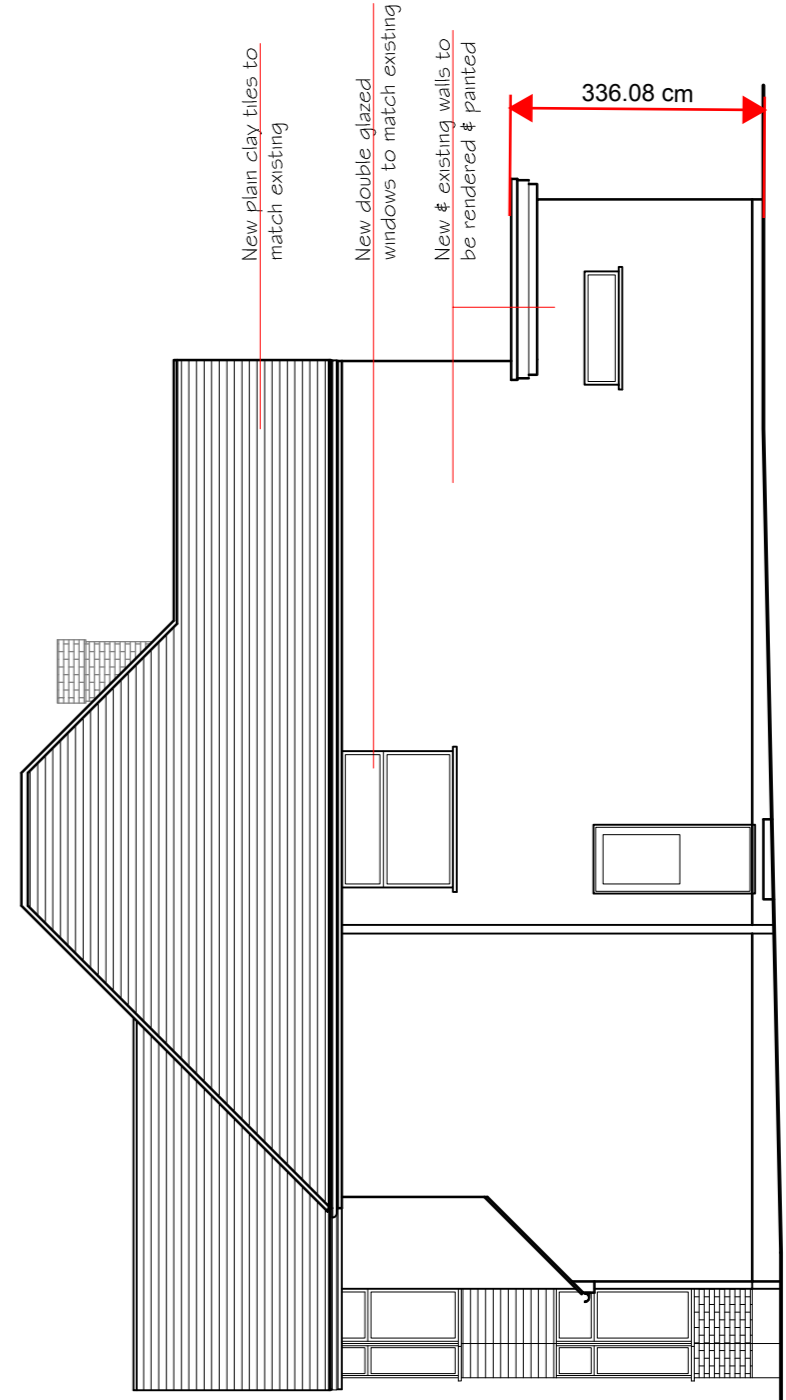
- Existing tiles from pitched garage to be re-used on front face of roof
- New double glazed windows to match existing
- New 4 existing walls to be rendered & painted
- Existing tiles from pitched garage to be re-used on front face of roof
- New solid timber doors to slope



Rear Elevation

- New glass clay ties to match existing
- New double glazed windows to match existing
- New 4 existing walls to be rendered & painted
- New powder coated aluminium bi-folding doors

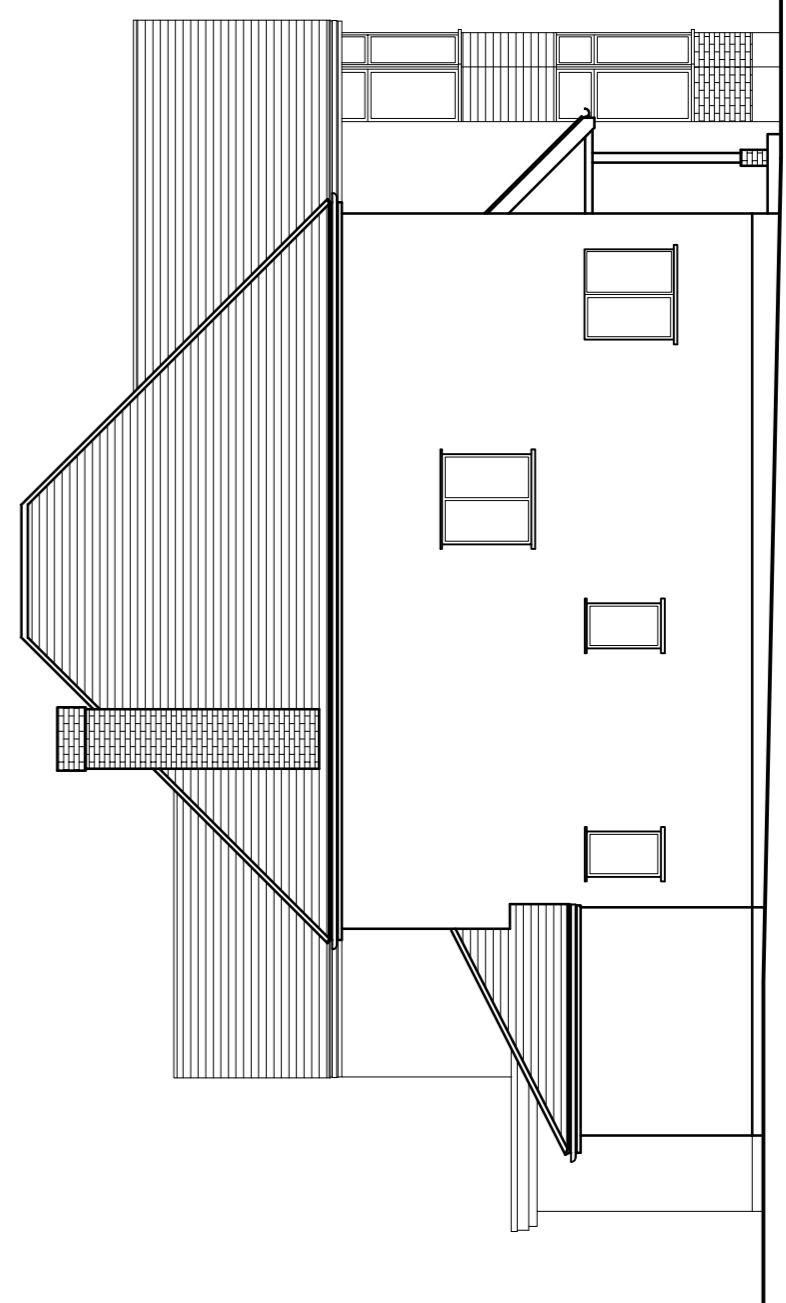
PROPOSED ELEVATIONS



Side Elevation

- New glass clay ties to match existing
- New double glazed windows to match existing
- New 4 existing walls to be rendered & painted

336.08 cm



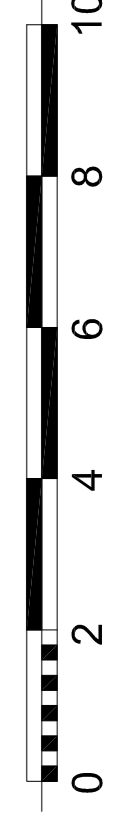
Side Elevation



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Client
 Mr & Mrs Whyte
Project
 3 Parkside
Description
 Proposed Alterations
 Proposed Elevations & Site Plans

Stage	Drawn	Date
Planning	nr	20.09.16
Scale	1:50/100/200	
Job number	1085	
Drawing no.	011	
Revision	C	



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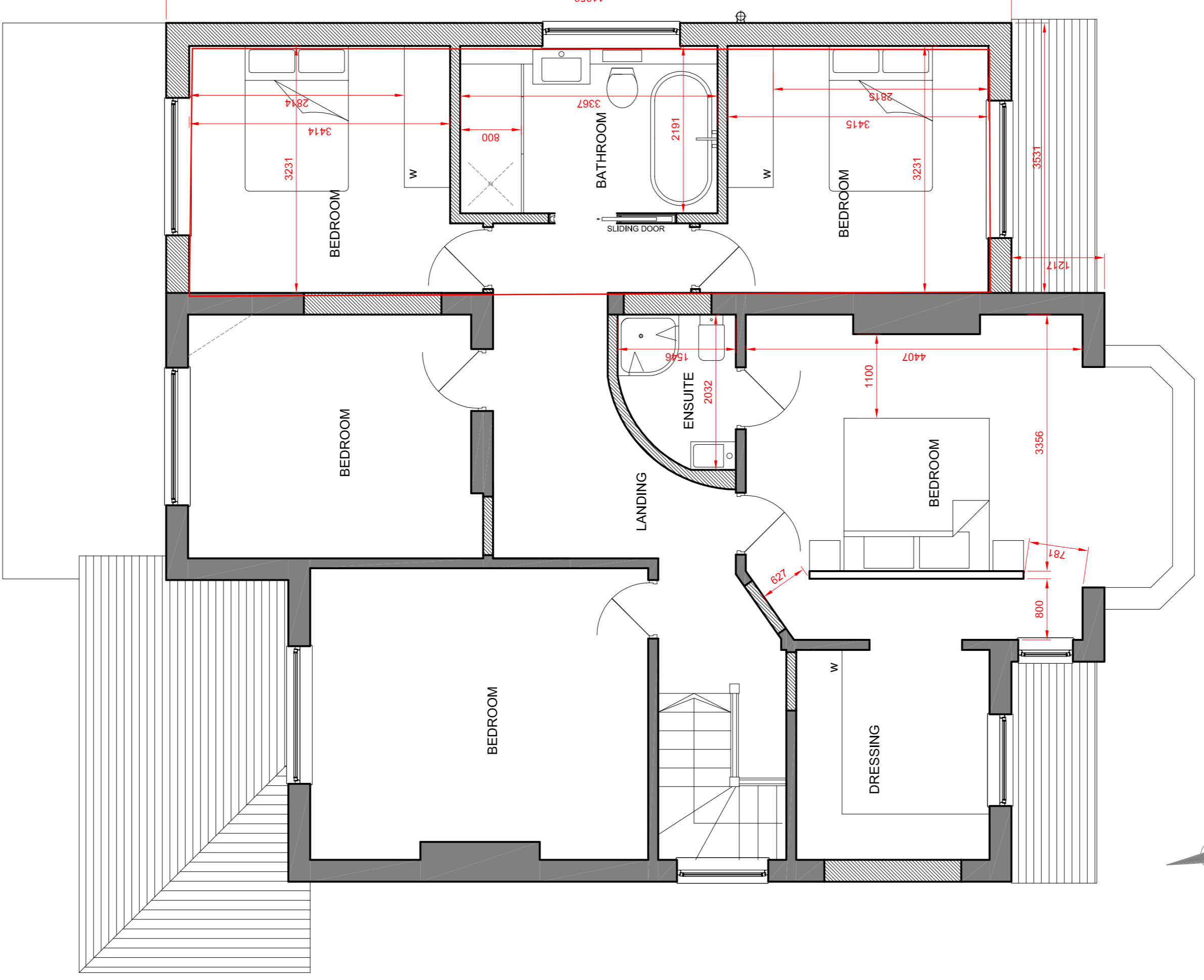
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Revision	Date
A. Amended to suit client comments	14.10.16
B. Amended to suit client comments	28.11.16
C. Amended to suit client comments	08.12.16

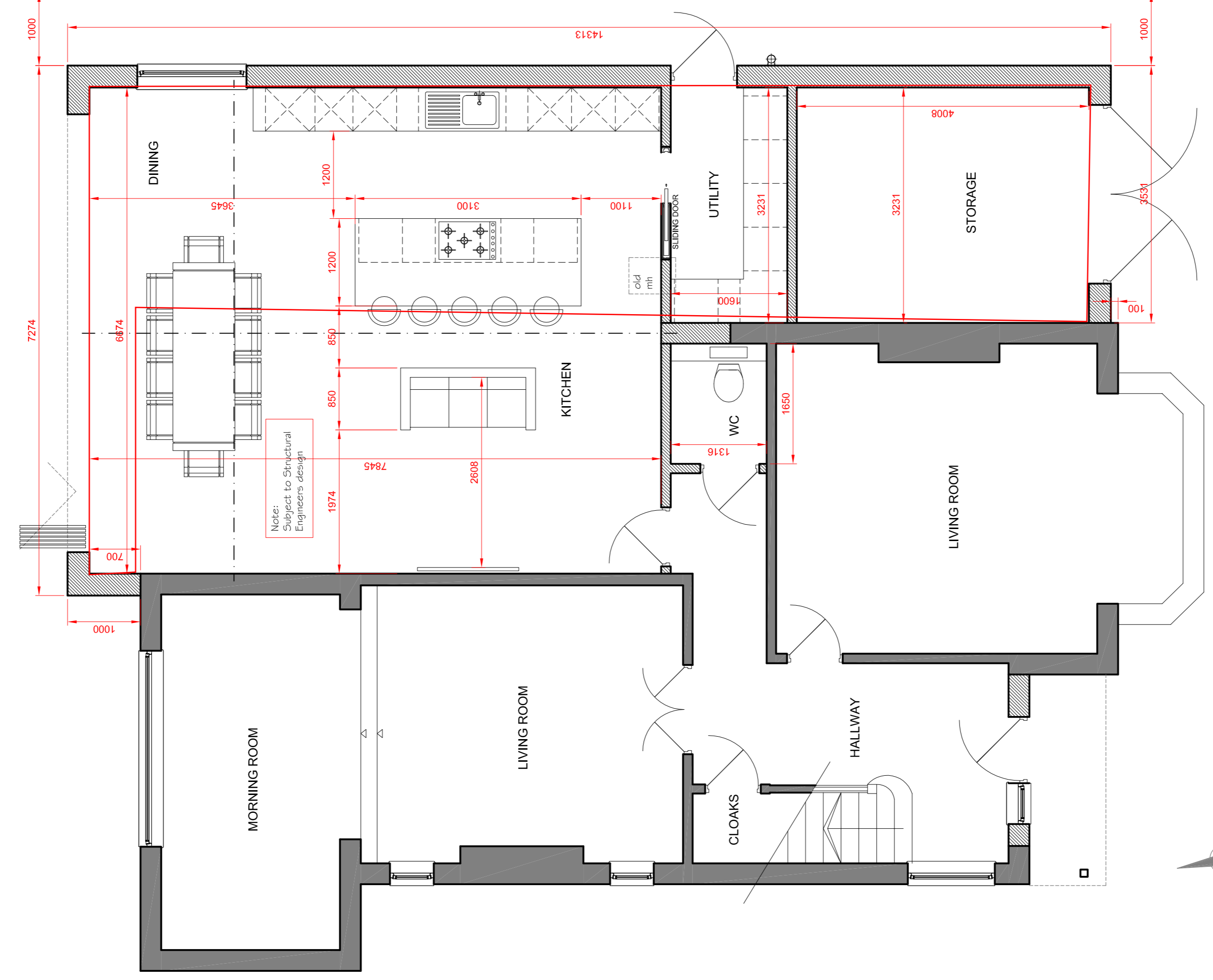


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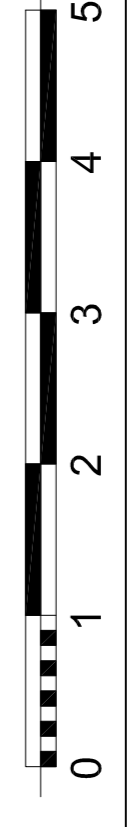
Client	Mr & Mrs Whyte
Project	3 Parkside
Description	Proposed Alterations Existing & Proposed Plans
Status	Planning
Scale	1:500/100/200 nr
Date	20.09.16
Drawn by	nr
Checked by	
Drawings no.	1085
Revision	010
	C



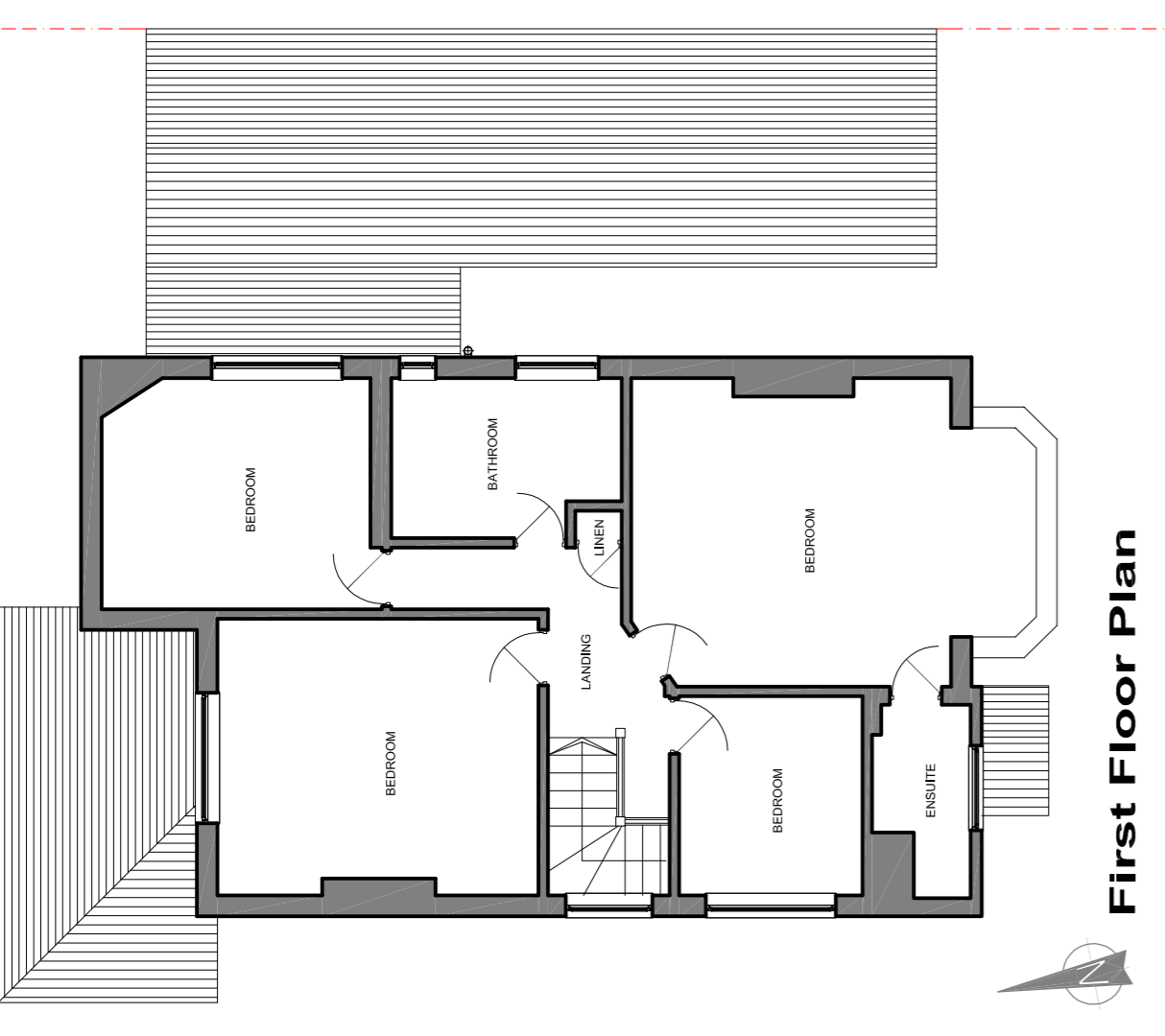
First Floor Plan



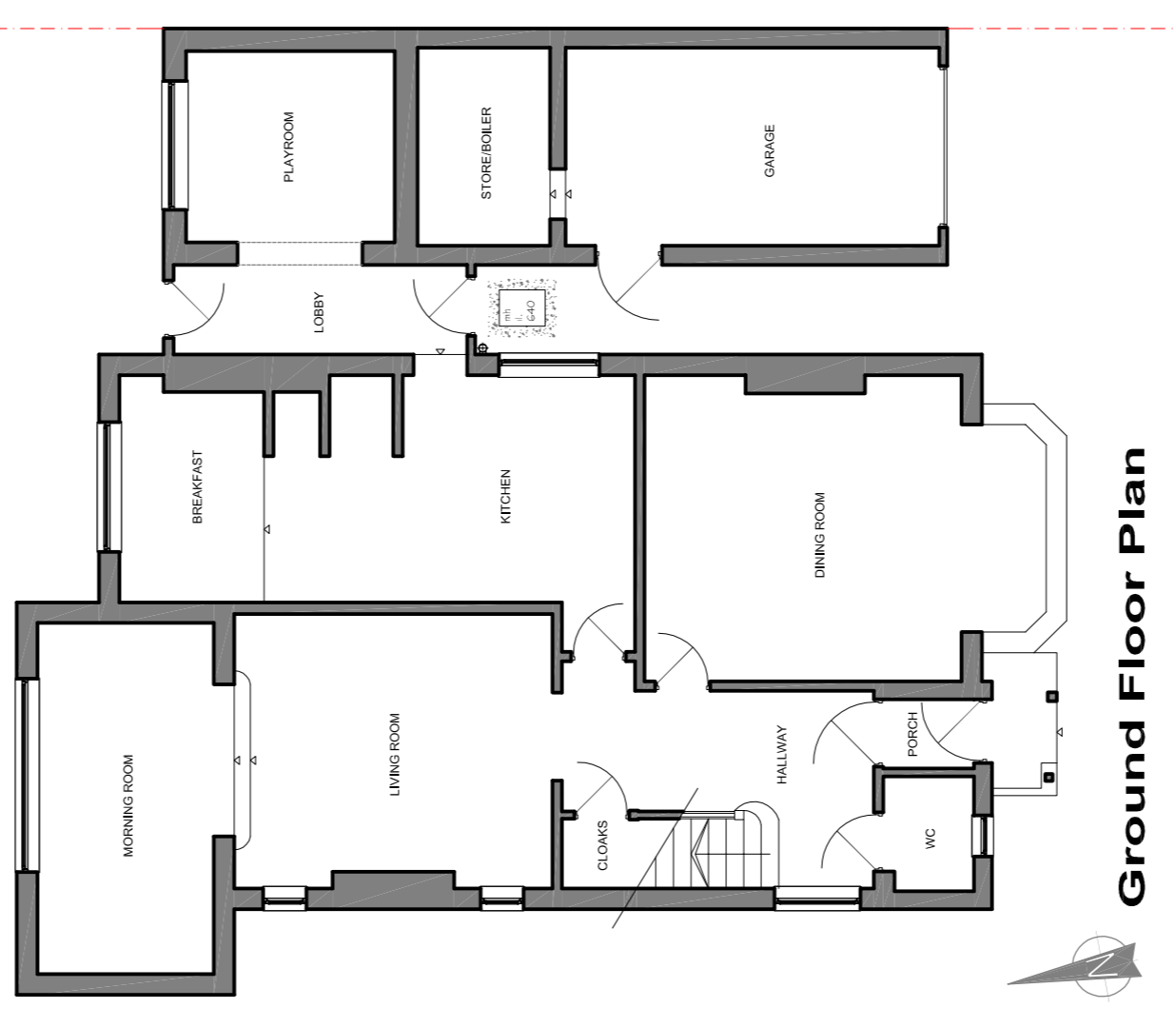
Ground Floor Plan



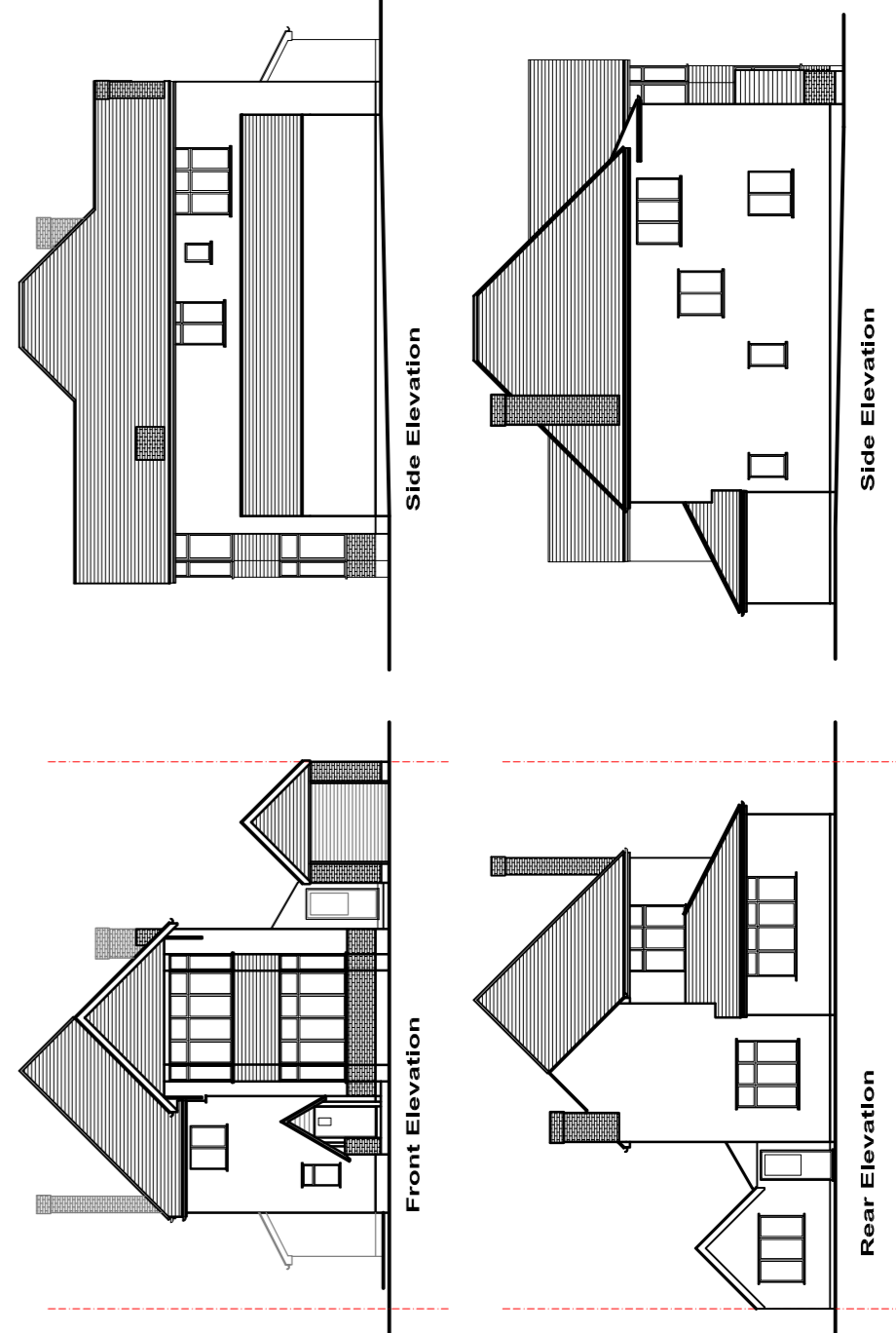
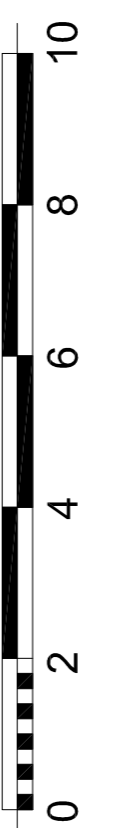
PROPOSED PLANS



First Floor Plan



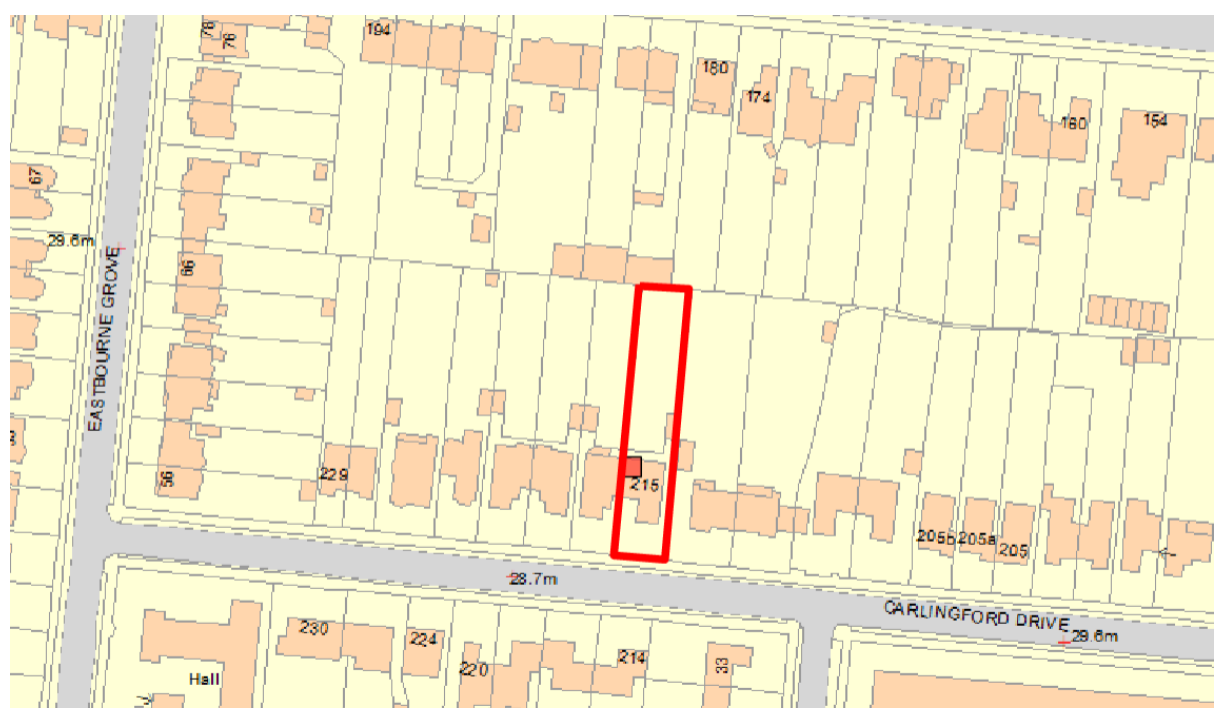
Ground Floor Plan



EXISTING PLANS

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Reference:	16/02252/FULH
Ward:	Prittlewell
Proposal:	Single storey side and rear extension (Retrospective)
Address:	215 Carlingford Drive Westcliff-On-Sea Essex SS0 0SE
Applicant:	Mr Biju Matthew
Agent:	Mr Graham Miles
Consultation Expiry:	24.01.2017
Expiry Date:	16.02.2017
Case Officer:	Ciara Cosgrave
Plan Nos:	1497/10-A, 1497/00, 1497/11
Recommendation:	Members are recommended to GRANT PLANNING PERMISSION



1 The Proposal

- 1.1 The application seeks retrospective planning permission for a single storey extension to the side and rear of the property which is rendered to match existing. The extension is built up to the east boundary and extends 10.24m to the rear. The west elevation is 4.27m from the boundary and extends 6.6m from the rear of the existing conservatory. The extension measures 5.6m wide on the north elevation.
- 1.2 The height of the extension to the immediate rear of the house is 2.84m with a flat roof. As a result of the sloping gradient of the site, there is a step in the roof height and the rear elevation of the extension measures 3.9m in height, above ground level.
- 1.3 Windows and doors are white Upvc to match the existing dwelling. There are two windows on the north elevation and a window and door on the west elevation of the extension. The side extension also has double doors on the south elevation. Although empty at the time of the site visit, the room is proposed to be used as a dining/living room.
- 1.4 The applicants have removed a flat roofed detached garage from the side of the dwelling which measured 5.7m x 2.6m.

2 Site and Surroundings

- 2.1 The site is located to the western side of Carlingford Drive, approx. 100m from the junction of Eastbourne Grove. The site contains a semi-detached bungalow, with an existing rear projection which forms part of row of similar dwellings in the streetscene. Other dwelling forms and scales can be found in the wider Carlingford Drive streetscene.
- 2.2 The site is not subject to any site specific policies.

3 Planning Considerations

- 3.1 The key considerations in relation to this application are the principle of the development, design and impact on the character of the area, any traffic and transport issues and the impact on residential amenity.

4 Appraisal

Principle of Development

National Planning Policy Framework 2012, Core Strategy Policies KP2 and CP4, Development Management DPD policy DM1, DM3 and SPD1.

- 4.1 This proposal is considered in the context of the National Planning Policy Framework 2012 and Core Strategy Policies KP2 and CP4. Also of relevance is policy DM1 which addresses design quality. These policies and guidance support extensions to properties in most cases but require that such alterations and extensions respect the existing character and appearance of the building. The dwelling is situated within a residential area and an extension or an alteration to the property is considered acceptable in principle, subject to detailed considerations.

Design and Impact on the Character of the Area:

- 4.2 The National Planning Policy Framework (NPPF) states *“The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.”* (Paragraph 56 – ‘Requiring good design’).
- 4.3 The Core strategy Policy KP2 states the need for all new development to *“respect the character and scale of the existing neighbourhood where appropriate and secure improvements to the urban environment through quality design”* to create sustainable urban environment.
- 4.4 In addition Core Strategy Policy CP4 stipulates *“development proposals will be expected to contribute to the creation of a high quality, sustainable urban environment which enhances and complements the natural and built assets of Southend by maintaining and enhancing the amenities, appeal and character of residential areas, securing good relationships with existing development, and respecting the scale and nature of that development.”*
- 4.5 Paragraph 348 of the Design and Townscape Guide (SPD1) under the heading of ‘Rear Extensions’ states that *“whether or not there are any public views, the design of rear extensions is still important and every effort should be made to integrate them with the character of the parent building, particularly in terms of scale, materials and the relationship with existing fenestration and roof form.”*
- 4.6 The design and townscape guide paragraph 351 stipulates that *‘side extensions can easily become overbearing and dominate the original property. In order to avoid this, side extensions should be designed to appear subservient to the parent building. This can generally be achieved by ensuring the extension is set back behind the existing building frontage line and that its design, in particular the roof, is fully integrated with the existing property’.*
- 4.7 The proposed single storey side extension is visible from the streetscene of Carlingford Drive, whilst the design of the extension is not considered high quality due to its elevational treatment, the side extension is set 12.2m from the front elevation and is not prominent and is not considered visually harmful. The neighbouring property to the east has a side garage which is in line with the side extension.
- 4.8 The rear extension extends a total of 10.24m on the east elevation into the rear garden and is large in relation to the original dwelling. However, there are examples of rear extensions in the vicinity of the site and there are a number of outbuildings also present. Given that there was originally a garage standing in its place, although not to the same scale, it can be considered on balance to be considered acceptable in terms of design.

Traffic and Transport Issues

- 4.9 The demolished garage measured 5.7m x 2.6m which does not meet the minimum parking standards for garages and therefore does not constitute a formal parking space. The parking arrangement to the front of the dwelling remains unchanged. The proposed development does not increase the parking requirements for the property.

Impact on Residential Amenity:

- 4.10 The Design and Townscape Guide (SPD1 Paragraph 343; under the heading of Alterations and Additions to Existing Residential Buildings) states that amongst other criteria, that *'extensions must respect the amenity of neighbouring buildings and ensure not to adversely affect light, outlook or privacy of the habitable rooms in adjacent properties'*. In addition to this Policy DM1 of the Development Management DPD also states that development should *"Protect the amenity of the site, immediate neighbours, and surrounding area, having regard to privacy, overlooking, outlook, noise and disturbance, visual enclosure, pollution, and daylight and sunlight."*
- 4.11 The rear extension is built up to the boundary on the east, there are no windows on this elevation of the extension. The neighbouring property (No. 213) has an existing detached outbuilding built up to the boundary also. It is considered that the extension does not result in a loss of light or is overbearing for No.213.
- 4.12 There is a separation distance of 4.27m from the boundary of No.217 on the west. The west elevation of the extension has a door and single window, although this does result in some overlooking of No.217, it is not to the extent that would warrant refusal. The extension is not considered to result in an undue loss of light or be overbearing on No.217.
- 4.13 There is a considerable separation distance to neighbours to the north which face onto Carlton Avenue (approx. 25m to the boundary) and therefore the proposal does not impact on their residential amenity.

Community Infrastructure Levy (CIL) Charging Schedule.

- 4.14 The new floor space created from the proposal would be less than 100m². Therefore, the proposed development is not CIL liable.

5 Conclusion

- 5.1 Having taken all material planning considerations into account, on balance it is found that subject to compliance with the attached conditions, the proposed development is acceptable and compliant with the objectives of the relevant development plan policies and guidance. The proposal has an acceptable impact on the amenities of neighbouring occupiers, traffic and highways and the character and appearance of the application site, the street scene and the locality more widely. This application is therefore recommended for approval subject to conditions.

6 **Planning Policy Summary**

- 6.1 The National Planning Policy Framework (2012) : Section 7 (Requiring Good design)
- 6.2 Development Plan Document 1: Core Strategy Policies KP2 (Development Principles), CP3(Transport and Accessibility) and CP4 (Environment & Urban Renaissance)
- 6.3 Development Management DPD 2015: DM1 (Design Quality), DM3 and DM15 (Sustainable Transport Management)
- 6.4 Supplementary Planning Document 1: Design & Townscape Guide (2009)
- 6.5 CIL Charging Schedule 2015

7 **Representation Summary**

Public Consultation

- 7.1 Six neighbours were consulted and no correspondence was received.

8 **Relevant Planning History**

- 8.1 The planning application is a result of an enforcement case Ref: EN/16/00190/UNAU_B.

9 **Recommendation**

- 9.1 **Member are recommended to GRANT PLANNING PERMISSION (Retrospective) subject to conditions:**

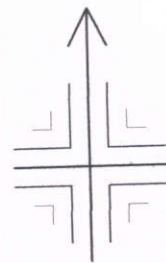
01 The development hereby permitted shall be retained in accordance with the following approved plans: 1497/10-A, 1497/00, 1497/11

Reason: To ensure that the development is carried out in accordance with provisions of the Development Plan

02 The roof of the building/extension hereby approved shall not be used as a balcony, roof garden or similar amenity area or for any other purpose unless otherwise agreed in writing by the local planning authority. The roof can however be used for the purposes of maintenance or to escape in an emergency.

Reason: To protect the privacy and environment of people in neighbouring residential properties, in accordance with the National Planning Policy Framework (NPPF), DPD1 (Core Strategy) 2007 policy CP4 and SPD1 (Design and Townscape Guide).

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Site Location Plan - 1 : 200

Miles Designs

Graham C Miles Dip Arch. RIBA Architect,
103, Trinity Road, Southend-on-Sea, Essex, SS2 4HN.

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✉gcm@milesdesigns.co.uk

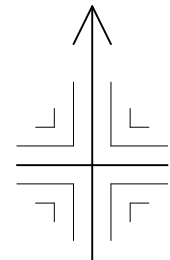
229

215, Carlingford Drive,
Westcliff-on-Sea, SS0 0SE.

Drawing No :

1479/SP

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OS Location Plan - 1 : 1250

Miles Designs

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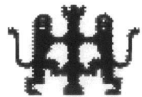
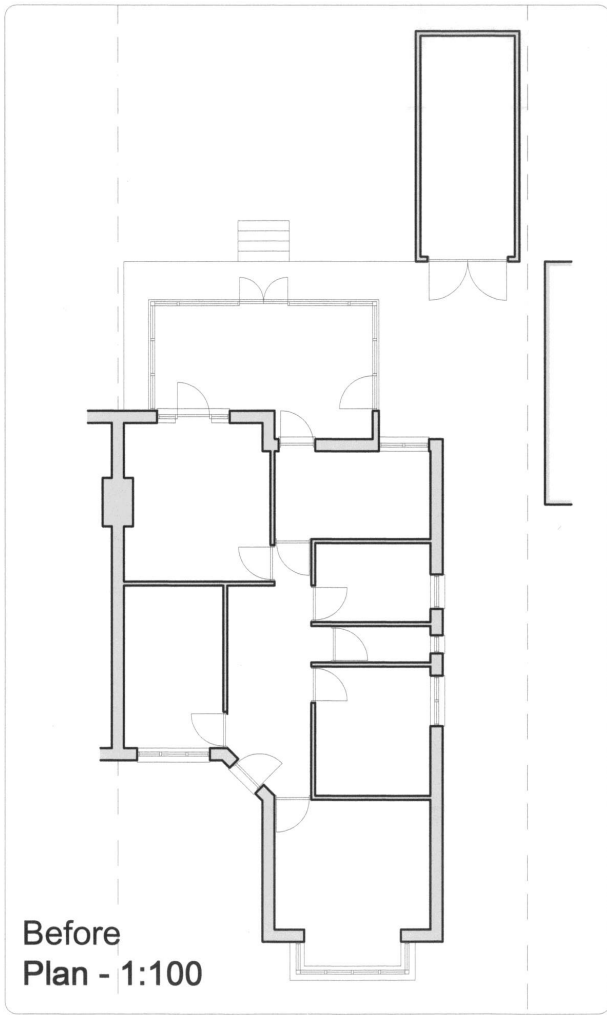
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**215, Carlingford Drive,
Westcliff-on-Sea, SS0 0SE.**

Drawing No :

1479/OS

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Miles Designs

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Date:
Dec-16

Scale:
1 : 100

Drawing Title:
**Development
at
215, Carlingford Drive, Westcliff-on-Sea, Essex, SS0 0SE.**

Drawing Number:
1497/00

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Reference:	16/00044/UNAU-B
Ward:	Eastwood Park
Breach of Control	Without planning permission, the construction of a single storey part side/part rear extension.
Address:	313 Rayleigh Road, Leigh-on-Sea, Essex, SS9 5PX
Case Opened:	3 rd March 2016
Case Officer:	Neil Auger
Recommendation:	AUTHORISE ENFORCEMENT ACTION



1 Site and Surroundings

- 1.1 The site comprises a plot of land containing a single storey detached building lying to the south side of Rayleigh Road approximately 150m from its junction with Bellhouse Road to the west.

2 Lawful Planning Use

- 2.1 The lawful planning use is as a single dwellinghouse within Class C3 of the Town and Country Planning (Use Classes) Order 1987 (as amended).

3 Present Position

- 3.1 On 3rd March 2016, an enforcement case was opened as the result of a complaint received from a Ward Member in which it was alleged that a single storey extension was being constructed to the existing building located upon the land.
- 3.2 On 4th March 2016, a site inspection was carried out by the case officer when it was confirmed that the allegation was correct. A part side/part rear single storey extension had been constructed as reported. Photographs were taken for the record.
- 3.3 A letter was sent to the registered proprietor of the land on 9th March 2016 advising that planning permission was required for the extension and, potentially, for the change of use of the original building to residential. The submission of a retrospective application for the appropriate consent(s) was invited.
- 3.4 An application was eventually received on 13th June 2016 but was found to be invalid.
- 3.5 An invalid letter was sent by the Planning Registration Team on 30th June 2016 explaining which documentary details and information should be submitted in order to validate the application.
- 3.6 The required documents were not received so a reminder letter was sent by the Planning Registration Team on 1st September 2016.
- 3.7 No response was received so a final reminder letter was sent to the land owner by the enforcement case officer on 1st December 2016.
- 3.8 To date, the required additional documentation has not been received, there has been no further contact by the property owner and the unauthorised extension remains in situ.

4 Appraisal

- 4.1 Information provided by the Finance and Resources (Council Tax) Team shows that the original building on the land, which was formerly an annexe to 105 Steeplefield at the rear, was banded for Council Tax purposes as a separate dwelling on 18th August 2004 and has been occupied as such since that date.

- 4.2 Council records also show that the address was changed to 313 Rayleigh Road by the Street Naming and Numbering Team in December 2010.
- 4.3 Consequently, the change of use of the building to residential is lawful in planning terms by reason of the time limits placed on enforcement under Section 171B of the Town & Country Planning Act 1990 (as amended).
- 4.4 Specific planning permission is required to retain the part side/part rear single storey extension because it does not constitute permitted development under the Town and Country Planning (General Permitted Development) (England) Order 2015.
- 4.5 The NPPF, Policies KP2 and CP4 of the Core Strategy, Policies DM1 and DM3 of the Development Management DPD and the Design and Townscape Guide 2009 (SPD1) require alterations to respect the existing character and appearance of the building. They are also required to respect the amenity of neighbouring buildings; not to adversely affect light, outlook or privacy, to respect existing residential amenities and to create a satisfactory relationship with surroundings.
- 4.6 In this case, the original building is finished in red brick and has a hipped, ridged roof in tiles to match; whereas the unauthorised extension is constructed in rendered blockwork with a mono-pitched (flat) roof.
- 4.7 In terms of design, the extension is considered featureless and not to relate to, or respect, the character and appearance of the original building.
- 4.8 The unauthorised development is therefore considered to conflict with the policies identified in paragraph 4.5 to the extent that it results in unmitigated, demonstrable harm to the character and appearance of the individual property and the area more widely.
- 4.9 Taking enforcement action in this case may amount to an interference with the owners' and/or occupiers' Human Rights. However, it is necessary for the local planning authority to balance the rights of the owners and/or occupiers against its legitimate aims to regulate and control land within its area. In this particular case it is considered reasonable, expedient, and proportionate and in the public interest to pursue enforcement action on the grounds set out in the formal recommendation.

5.0 **Relevant Planning History**

- 5.1 None

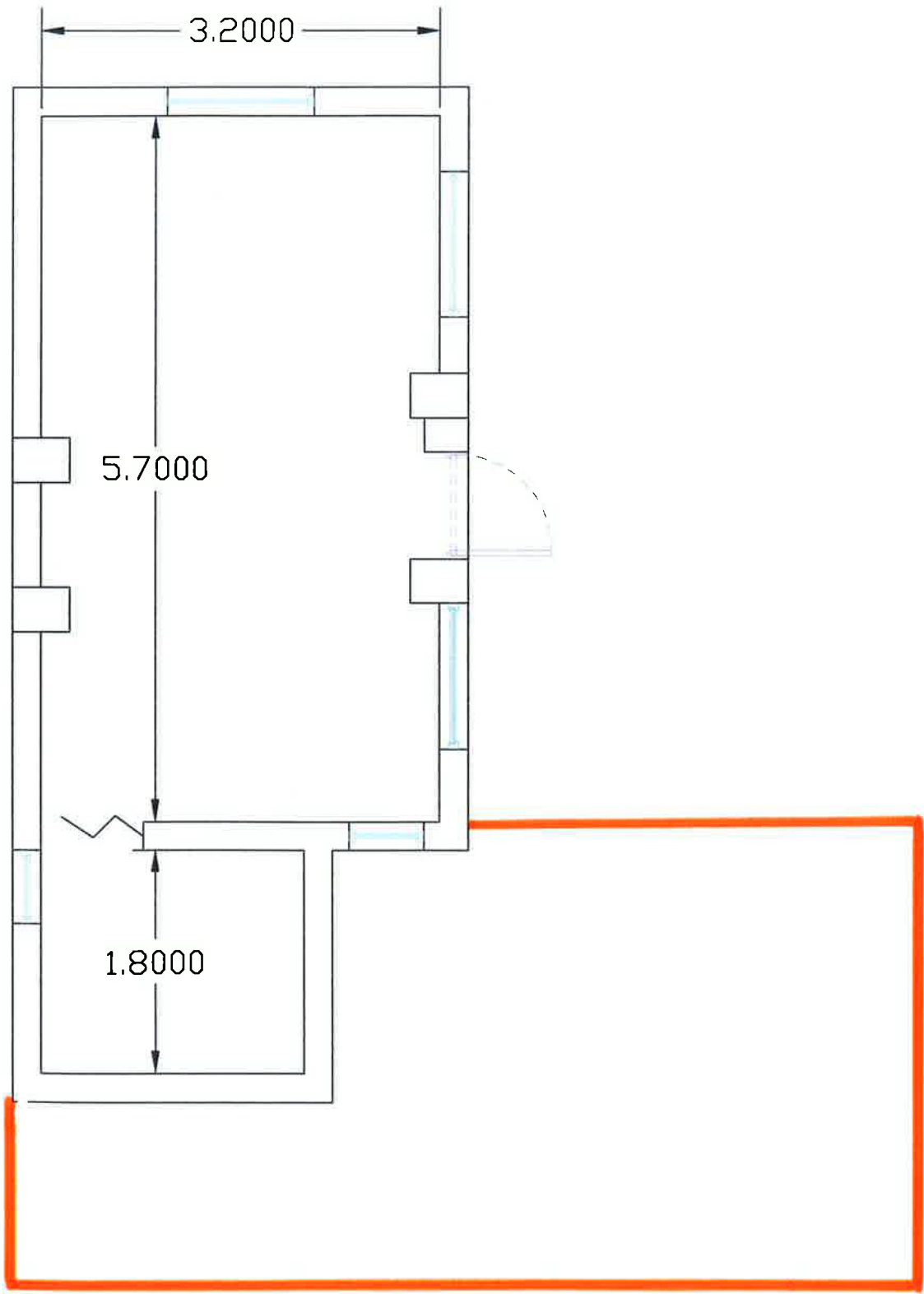
6 **Planning Policy Summary**

- 6.1 The National Planning Policy Framework (NPPF) 2012.
- 6.2 Development Plan Document 1: Core Strategy Policies KP2 (Development Principles) and CP4 (The Environment and Urban Renaissance).
- 6.3 Development Plan Document 2: Development Management Document Policies DM1 (Design Quality) and DM3 (Efficient and Effective Use of Land).

- 6.4 Design and Townscape Guide 2009 (SPD1).
- 6.5 Community Infrastructure Levy Charging Schedule.

7 Recommendation

- 7.1 **Members are recommended to AUTHORISE ENFORCEMENT ACTION** to secure the removal of the single storey part side/part rear extension on the grounds that the unauthorised development is detrimental to the amenities and character of the area in that its design and materials do not respect the existing character and appearance of the building and that its appearance results in demonstrable harm to the visual amenities of the area contrary to the NPPF, Policies CP4 and KP2 of the Core Strategy, Policies DM1 and DM3 of the Development Management Document and the advice contained within the Design & Townscape Guide.
- 7.2 The authorised enforcement action to include (if/as necessary) the service of an Enforcement Notice under Section 172 of the Act and the pursuance of proceedings whether by prosecution or injunction to secure compliance with the requirements of the Enforcement Notice.
- 7.3 When serving an Enforcement Notice the local planning authority must ensure a reasonable time for compliance. In this case the necessary remedial works would probably require quotations to be sought and contracts agreed so a compliance period of 3 months is considered reasonable.



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